

# CYPRESS POINTE PRELIMINARY PLAN

HAMILTON TOWNSHIP,  
WARREN COUNTY  
V.M.S. NO. 1547

WARREN COUNTY, OHIO

**OWNER**

M/I HOMES OF CINCINNATI LLC  
9349 WATERSTONE BLVD., 115  
CINCINNATI, OH 45249  
(513) 267-4719

**ENGINEER/SURVEYOR**

CHOICE ONE ENGINEERING  
8956 GLENDALE MILFORD ROAD  
SUITE 114  
LOVELAND, OH 45140  
(513) 239-8554

**PROJECT SUMMARY**

PIDN: 16-06-100-008 (DOCUMENT NO 2024-005094)

CURRENT ZONING: R-1 PLANNED UNIT DEVELOPMENT  
PROPOSED ZONING: R-4 PLANNED UNIT DEVELOPMENT

USE: SINGLE FAMILY RESIDENCE

ADJACENT PARCELS ZONING: NORTH, EAST, WEST: R1  
SOUTH, SOUTHWEST: R4-PUD

GROSS ACREAGE: 16.23 AC.

RESIDENTIAL LOTS: 38 LOTS  
OPEN SPACE LOTS: 3 LOTS  
TOTAL LOT COUNT: 41 LOTS

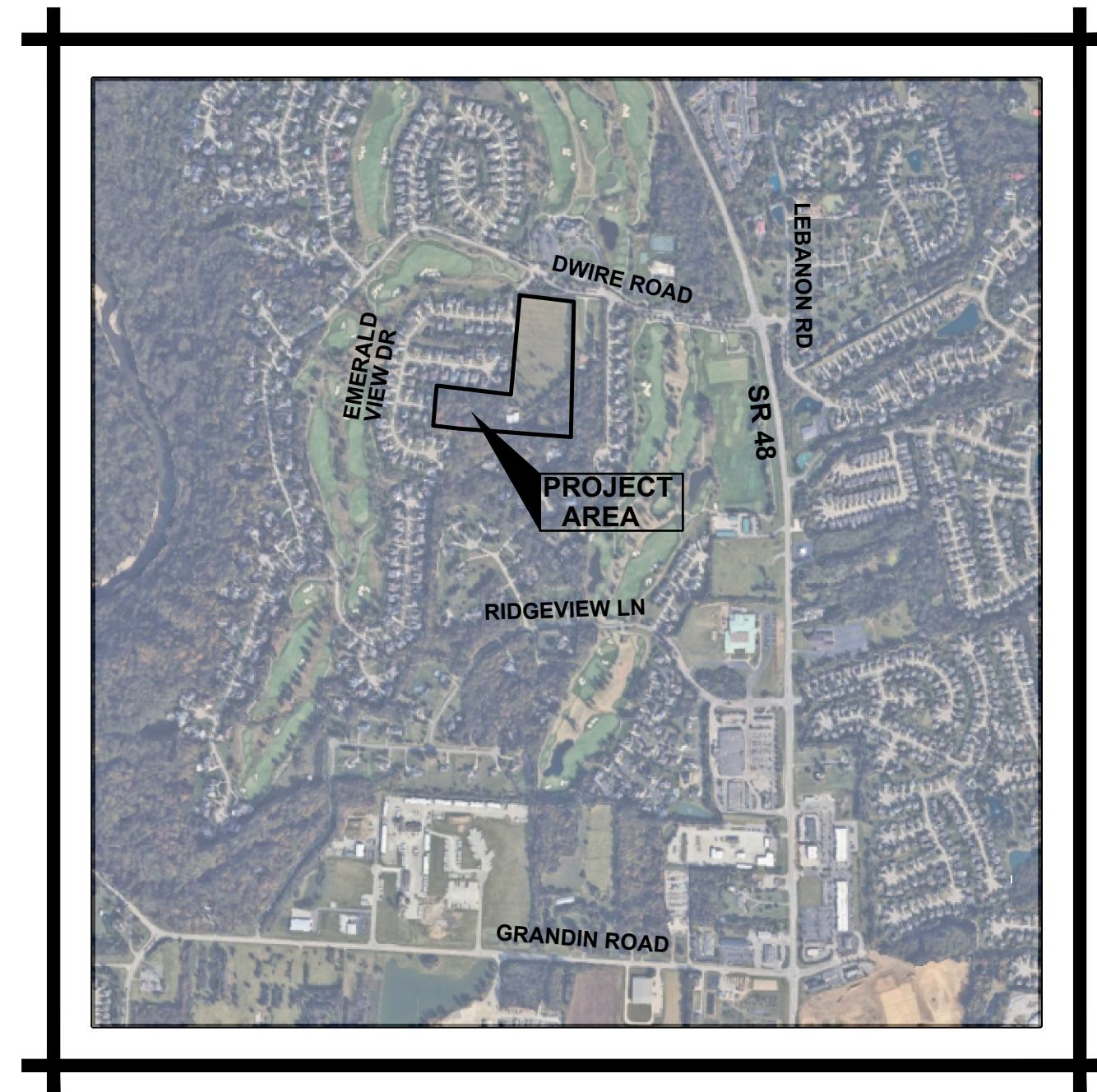
REQUIRED OPEN SPACE: 3.25 AC. (20.0%)  
PROVIDED OPEN SPACE: 3.93 AC. (24.2%)

| LAND USE:   | ACRES (AC) | PERCENT (%) |
|-------------|------------|-------------|
| RESIDENTIAL | 10.79 AC.  | 66.5%       |
| OPEN SPACE  | 3.93 AC.   | 24.2%       |
| ROW         | 1.51 AC.   | 9.3%        |

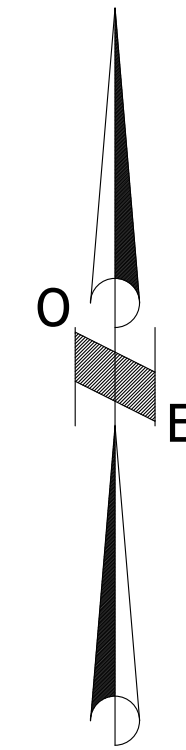
MINIMUM LOT WIDTH: 80'  
MINIMUM LOT SIZE: 10,800 SF

**GENERAL NOTES**

- ALL PLANS AND CONSTRUCTION SHALL COMPLY WITH THE RULES, SPECIFICATIONS AND INSPECTION OF THE OFFICE OF THE WARREN COUNTY ENGINEER, THE WARREN COUNTY SANITARY ENGINEER AND PROJECT SPECIFICATIONS. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT STANDARD APPLIES.
- SANITARY TO BE INSTALLED AND CONNECTED TO WARREN COUNTY SYSTEM.
- WATER TO BE INSTALLED AND CONNECTED TO WARREN COUNTY SYSTEM.
- ELECTRIC TO BE SUPPLIED BY DUKE ENERGY. STREET LIGHTING LOCATIONS TO BE DETERMINED BY DUKE ENERGY.
- STORMWATER MANAGEMENT TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WARREN COUNTY ENGINEER AND OHIO EPA NPDES.
- EROSION AND SEDIMENT CONTROL TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WARREN COUNTY SOIL AND WATER CONSERVATION DISTRICT AND OHIO EPA NPDES.
- ALL PUBLIC STREETS TO BE CONSTRUCTED ACCORDING TO WARREN COUNTY STANDARDS AND SPECIFICATIONS.
- 2-FOOT INTERVAL CONTOURS AND BOUNDARY INFORMATION PROVIDED BY CHOICE ONE ENGINEERING ON MARCH 2024
- THE SITE DOES NOT CONTAIN MAPPED FLOODPLAIN PER FEMA COMMUNITY PANEL 39165C0226E, WITH EFFECTIVE DATE 12/17/2010.
- HOMEOWNERS ASSOCIATION (HOA) TO OWN AND MAINTAIN COMMON OPEN SPACE AREAS AND ENTRYWAYS.

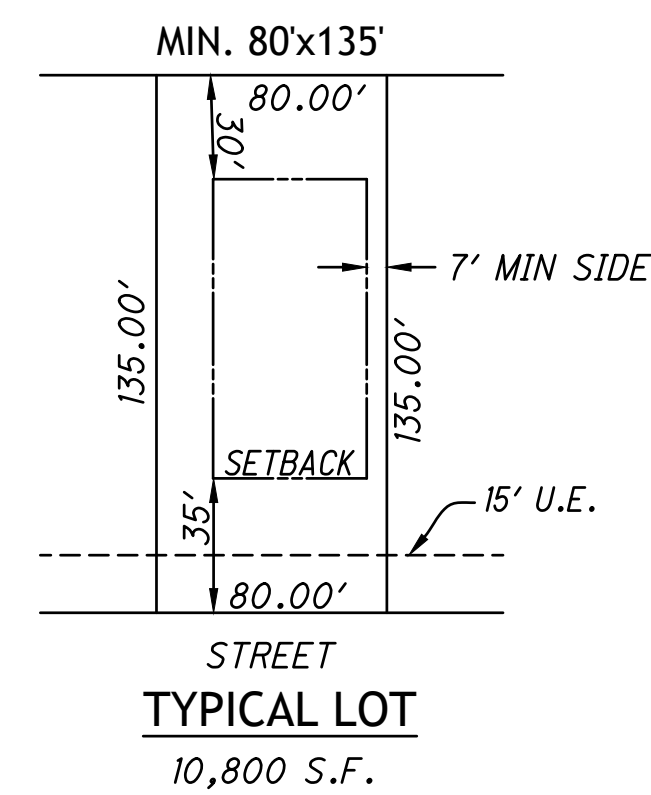
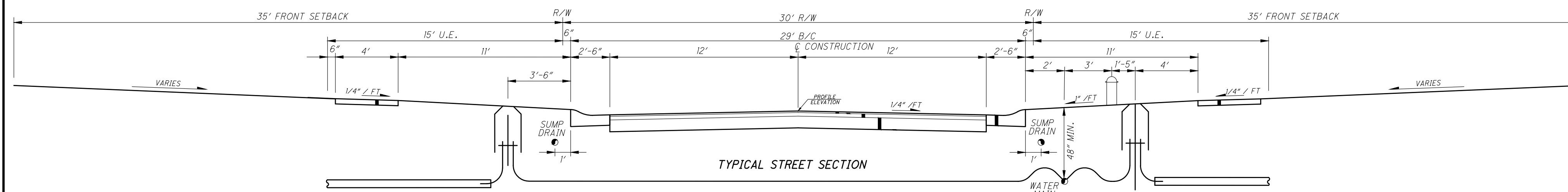


VICINITY MAP



## INDEX OF SHEETS

|                     |   |
|---------------------|---|
| TITLE SHEET         | 1 |
| UTILITY LAYOUT PLAN | 2 |
| LOT LAYOUT PLAN     | 3 |



440 E. HOEWISHER ROAD | SIDNEY, OHIO 45365 | 937.497.0200  
8956 GLENDALE MILFORD ROAD, SUITE 1 | LOVELAND, OHIO 45140 | 513.239.8554

www.CHOICEONEENGINEERING.com

MAY 23, 2024

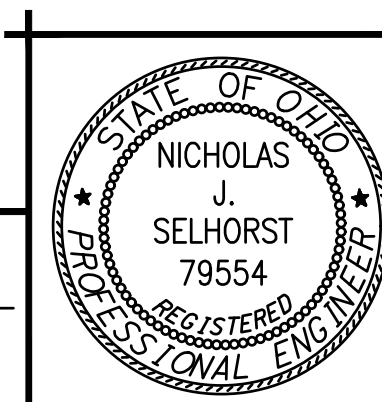
**UNDERGROUND UTILITIES**

Contact Two Working Days  
Before You Dig



OHIO811, 8-1-1, or 1-800-362-2764  
(Non-members must be called directly)

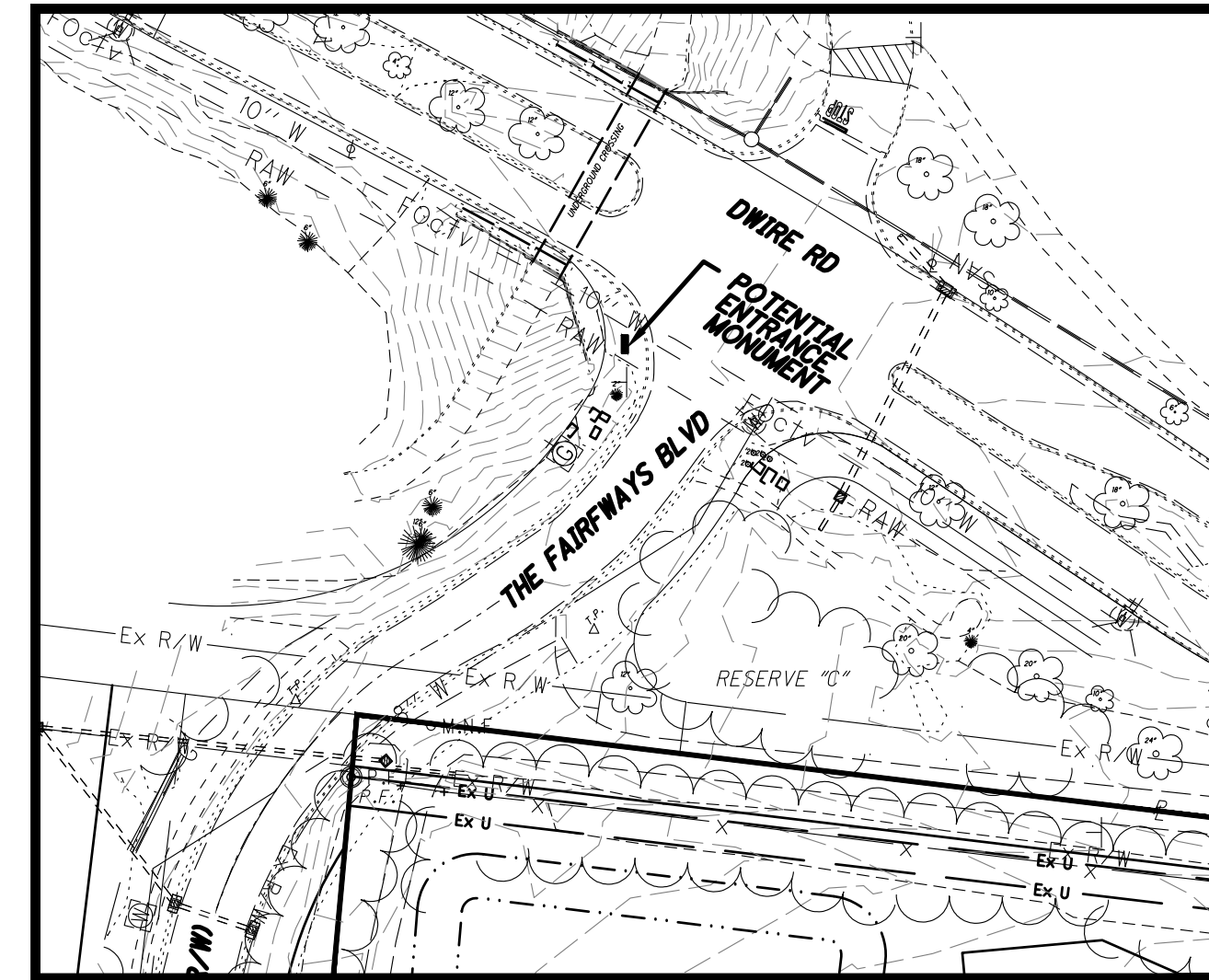
NICHOLAS J. SELHORST, P.E. DATE  
P.E. - #79554



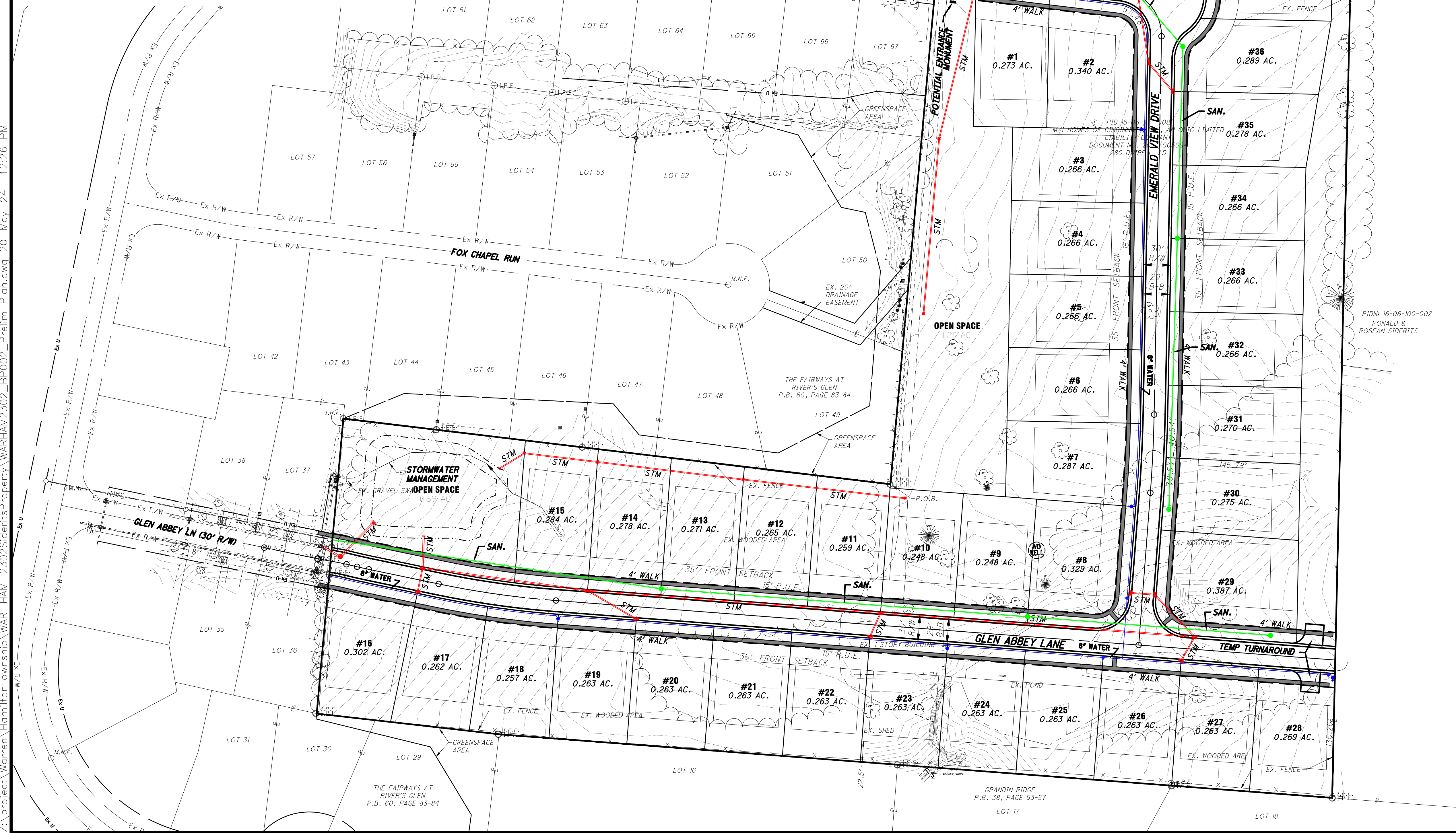
REVISIONS:

FILE NAME  
BP002  
DRAWN BY  
SjG  
CHECKED BY  
NNS  
PROJECT No.  
WARHAM2302  
SHEET NUMBER

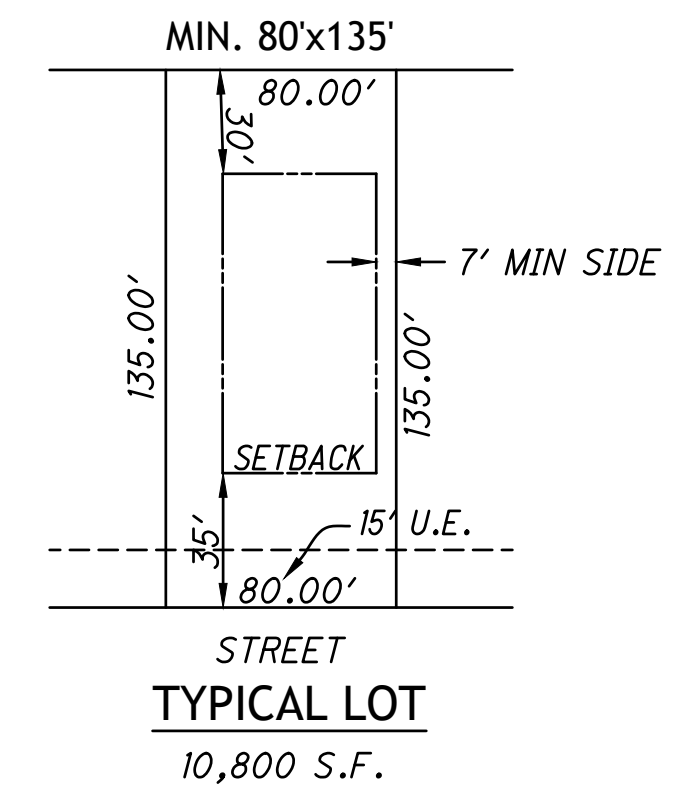
1 OF 3



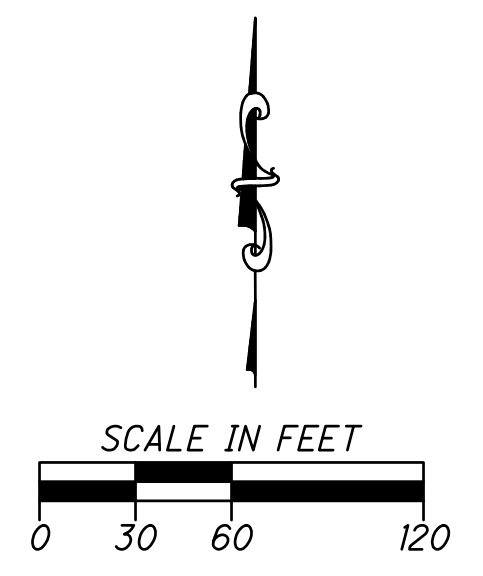
INSET "A"



SEE INSET "A"



STREET TYPICAL LOT  
10,800 S.F.



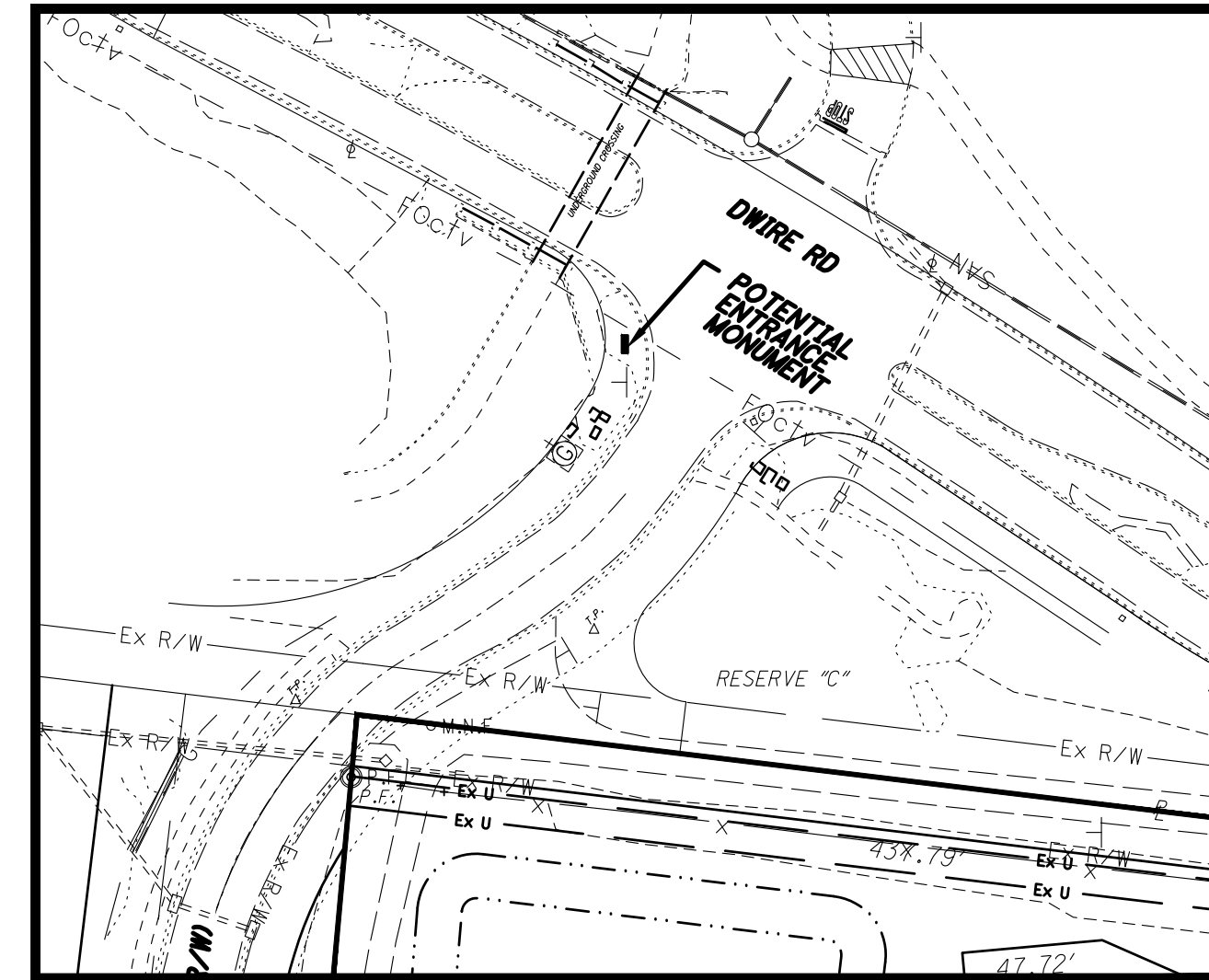
SIDNEY, OHIO 937.497.0200  
LOVELAND, OHIO 513.239.8554  
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CYPRESS POINTE  
HAMILTON TOWNSHIP, WARREN COUNTY  
UTILITY LAYOUT PLAN

REVISIONS:

|              |            |
|--------------|------------|
| FILE NAME    | PLAN       |
| DRAWN BY     | SJG        |
| CHECKED BY   | MNS        |
| PROJECT No.  | WARHAM2302 |
| DATE         | 05-23-2024 |
| SHEET NUMBER | 2 OF 3     |

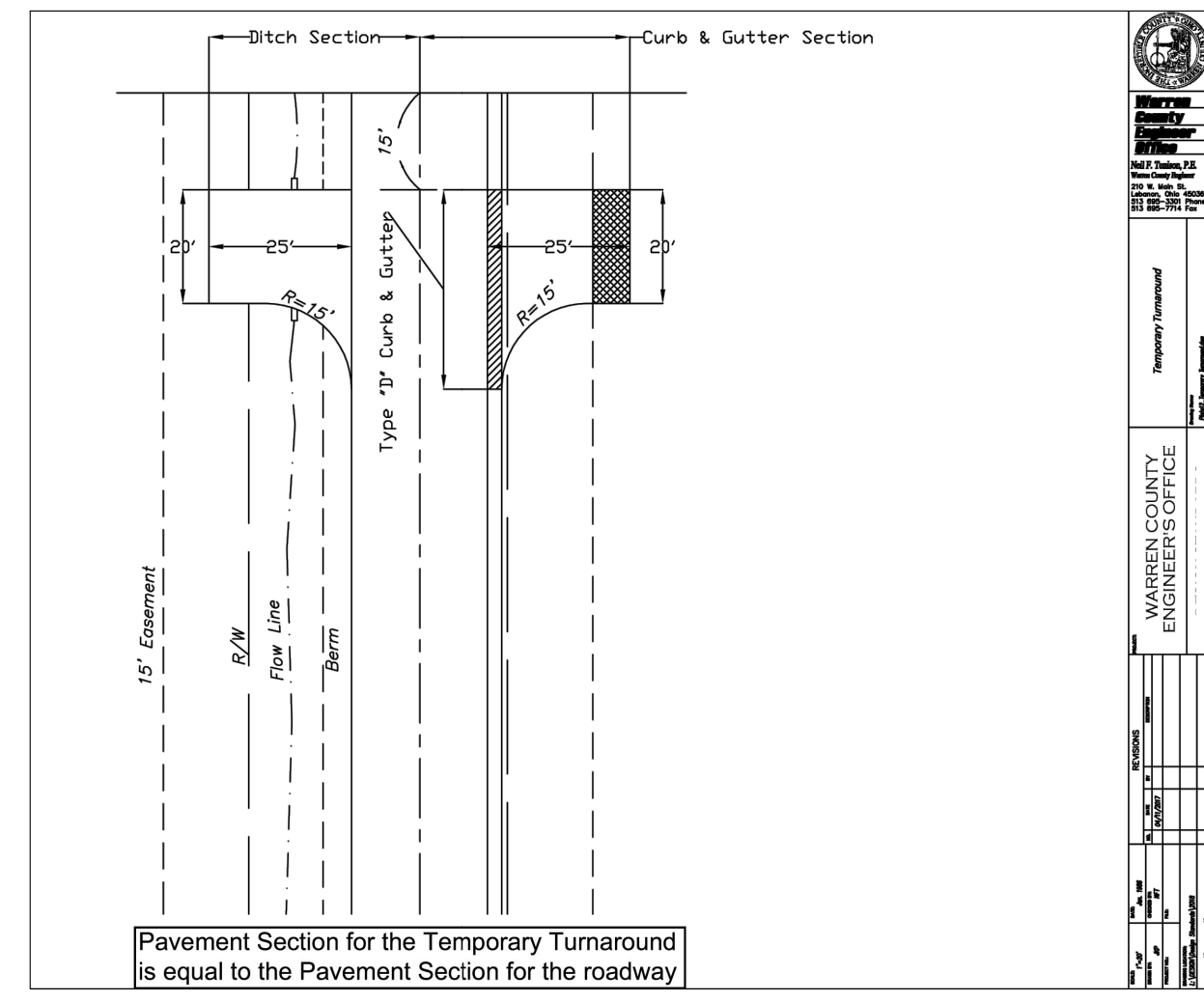
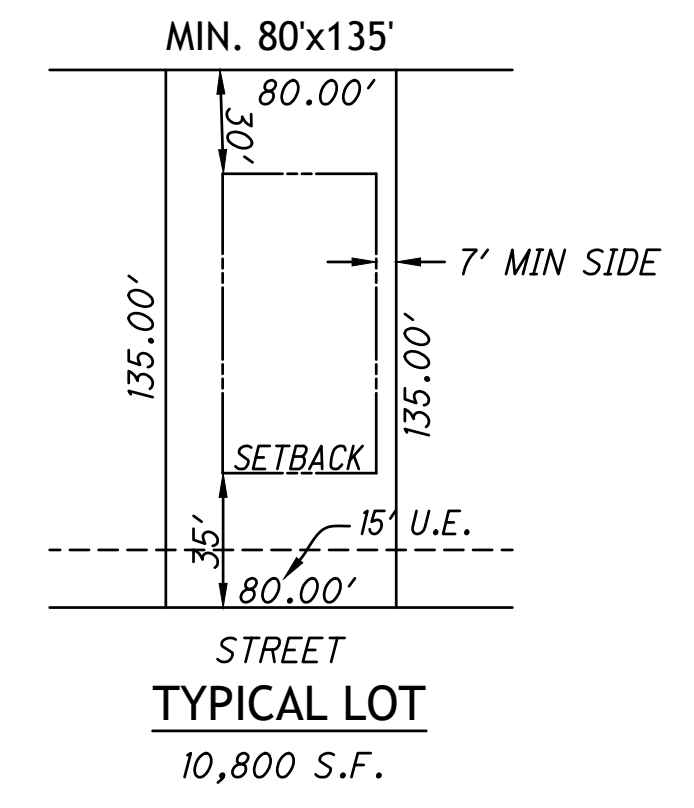
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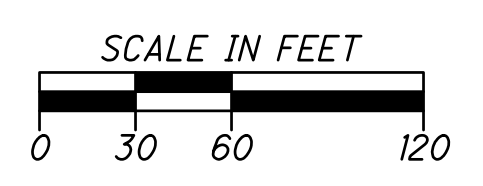
INSET "A"



SEE INSET "A"



PIDN: 16-06-100-002  
RONALD & ROSEAN SIDERITS



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LOVELAND, OHIO 513.239.8554  
WWW.CHOICEONEENGINEERING.COM

HAMILTON TOWNSHIP, WARREN COUNTY  
LOT LAYOUT PLAN

REVISIONS:

|              |            |
|--------------|------------|
| FILE NAME    | PLAN       |
| DRAWN BY     | SJG        |
| CHECKED BY   | NNS        |
| PROJECT No.  | WARHAM2302 |
| DATE         | 05-23-2024 |
| SHEET NUMBER | 3 OF 3     |

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