

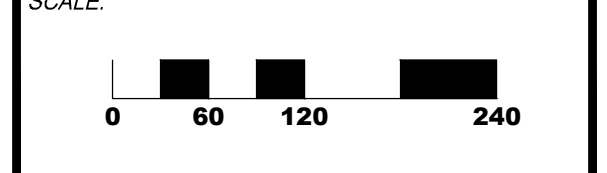
- LOCATION PLAN NOTES**
- ALL CURB RADII ARE MEASURED FROM THE EDGE OF PAVEMENT/FACE OF CURB. RADII ARE 5' UNLESS OTHERWISE NOTED.
  - DIMENSIONS MEASURED FROM THE EDGE OF PAVEMENT/FACE OF CURB UNLESS OTHERWISE NOTED.
  - STRIPING SHALL BE 4' WIDE HIGHWAY-TYPE STRIPING APPLIED IN ACCORDANCE WITH THE PLAN.
  - REPLACED PARKING STALLS DIMENSIONS TO BE 20' X 9' W.
- PARKING**
- EXISTING PARKING COUNT: 287 SPOTS  
 FINAL PARKING COUNT: 233 SPOTS  
 NET REDUCTION OF 54 SPOTS

SEAL:

NO.	DATE	DESCRIPTION
1	08/30/24	ZONING SUBMITTAL

**MODULA INC EXPANSION**  
 5000 COMMERCE CENTER DRIVE  
 FRANKLIN, OH 45005

PROJECT NO: 220187.002  
 DATE: 2024-08-15



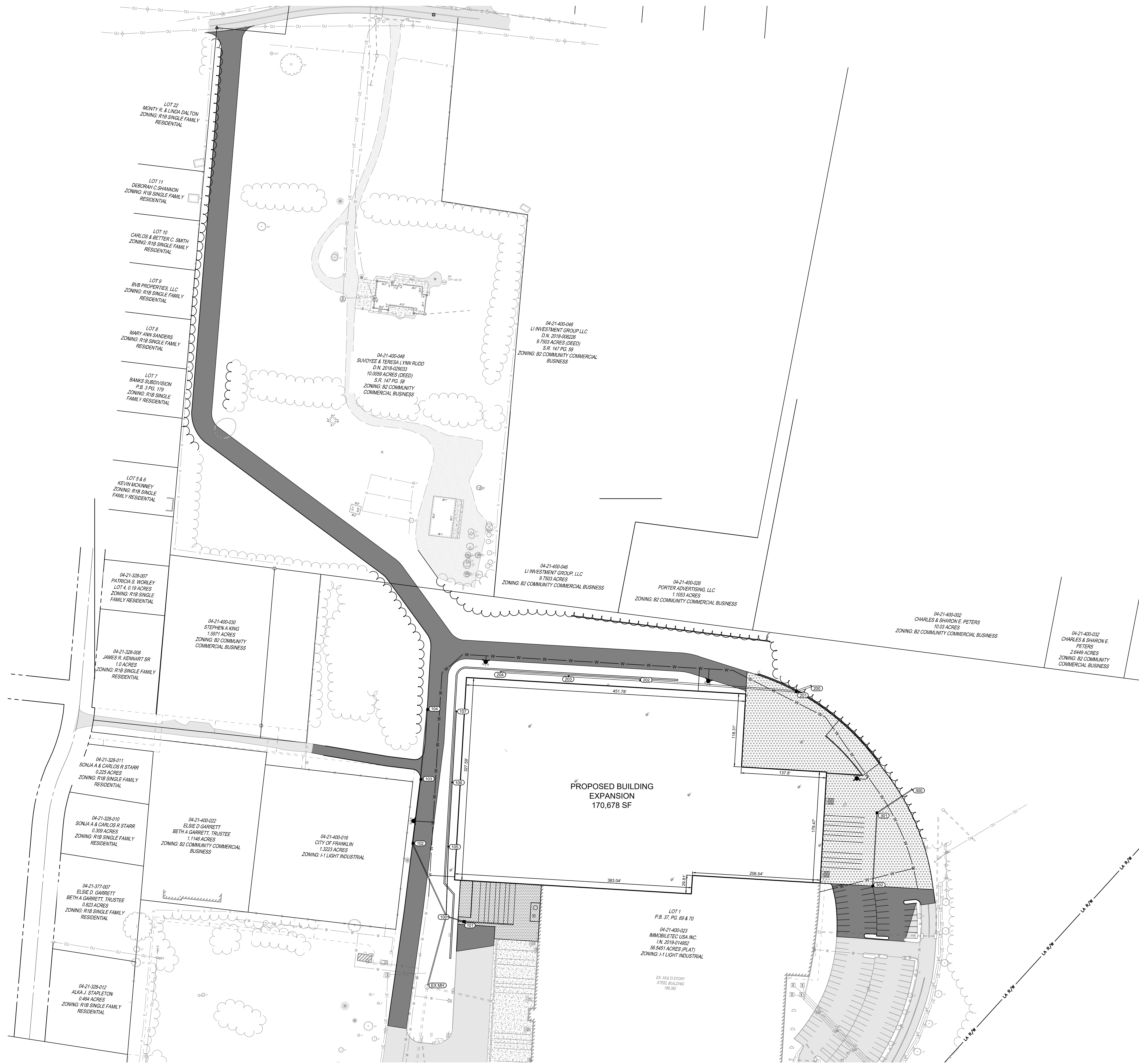
SHEET NAME:

**OVERALL SITE PLAN**

SHEET NO.  
**C300**



NOTE:  
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

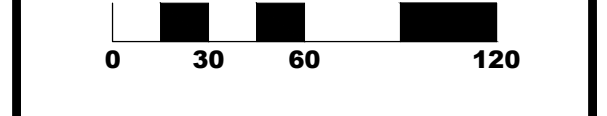


SEAL:

NO.	DATE	DESCRIPTION
1	08/30/24	ZONING SUBMITTAL

**MODULA INC EXPANSION**  
 5000 COMMERCE CENTER DRIVE  
 FRANKLIN, OH 45005

PROJECT NO: 220187.002  
 DATE: 2024-08-15  
 SCALE:

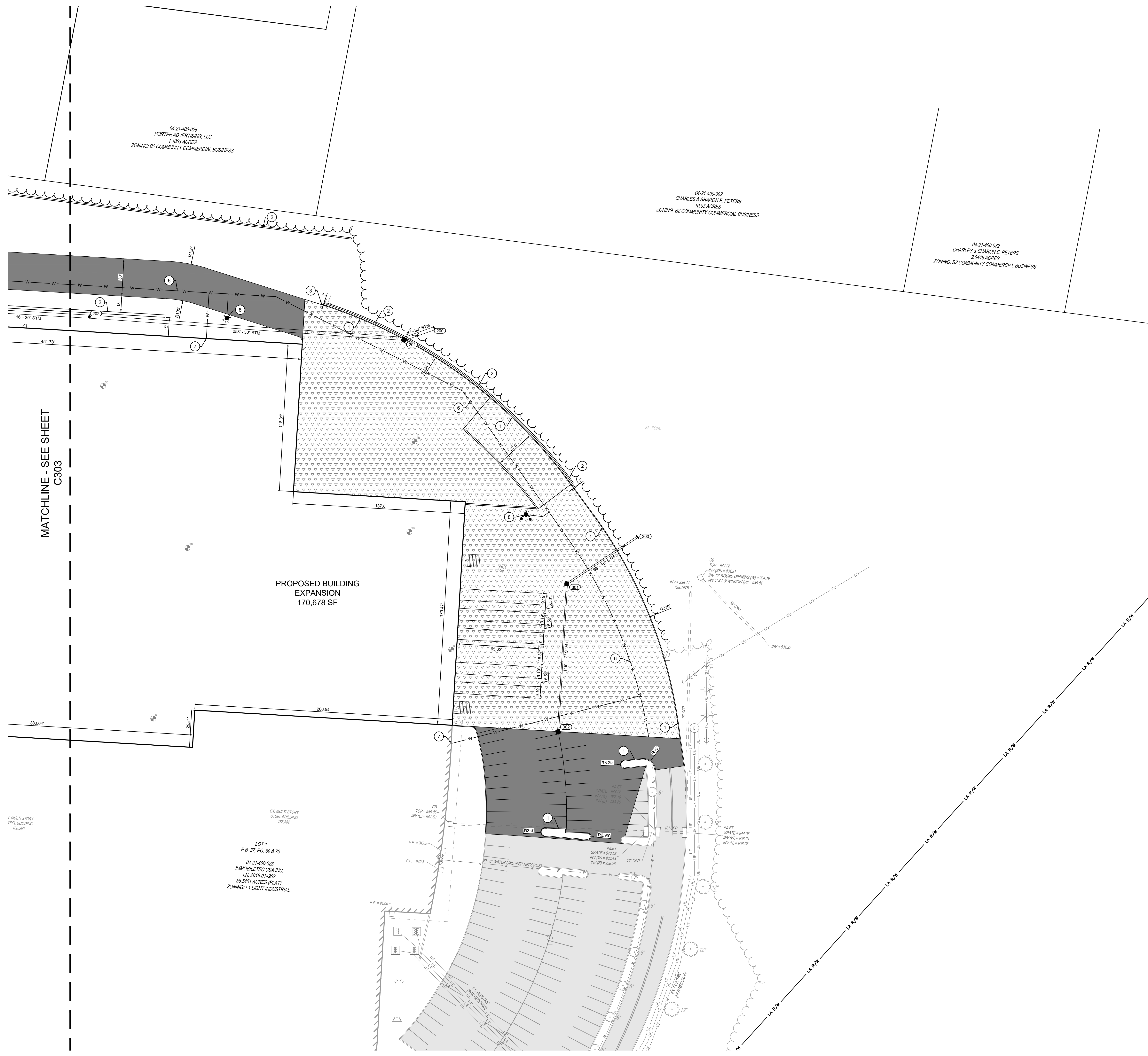


SHEET NAME:  
**OVERALL DEVELOPMENT PLAN**

SHEET NO:  
**C301**



NOTE:  
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



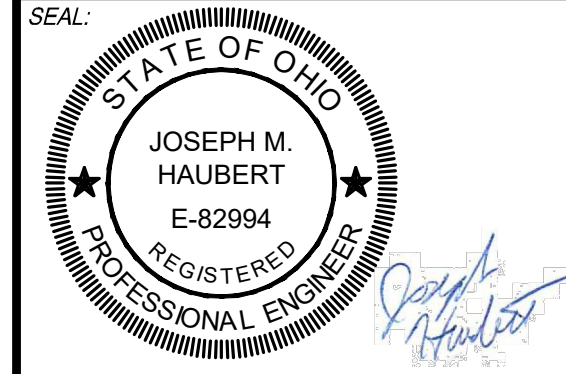
- PROPOSED LEGEND**
- CATCH BASIN
  - CURB INLET
  - YARD DRAIN
  - HEADWALL
  - MANHOLE
  - STORM SEWER CLEANOUT
  - DOWNSPOUT
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
  - FIRE HYDRANT
  - WATER VALVE
  - POST INDICATOR VALVE
  - FIRE DEPARTMENT CONNECTION
  - ASPHALT PAVEMENT
  - CONCRETE WALK
  - HEAVY DUTY CONCRETE PAVEMENT

- LOCATION PLAN NOTES**
1. ALL CURB RADII ARE MEASURED FROM THE EDGE OF PAVEMENT/FACE OF CURB. RADII ARE 5' UNLESS OTHERWISE NOTED.
  2. DIMENSIONS MEASURED FROM THE EDGE OF PAVEMENT/FACE OF CURB UNLESS OTHERWISE NOTED.
  3. STRIPING SHALL BE 4" WIDE WHITE HIGHWAY-TYPE STRIPING APPLIED IN ACCORDANCE WITH THE PLAN.
  4. REPLACED PARKING STALLS DIMENSIONS TO BE 20'L X 9'W.

**PARKING**

EXISTING PARKING COUNT: 287 SPOTS  
 FINAL PARKING COUNT: 233 SPOTS  
 NET REDUCTION OF 54 SPOTS

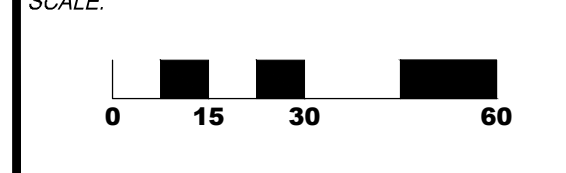
- LOCATION PLAN CODED NOTES**
- 1 BARRIER CURB
  - 2 RETAINING WALL DESIGN BUILD BY CONTRACTOR
  - 3 CURB TAPER
  - 4 CONTAINMENT WALL
  - 5 CONTRACTOR TO MODIFY EXISTING FENCE AS NEEDED FOR CONSTRUCTION AND AS INSTRUCTED BY OWNER.
  - 6 12" FIRE LINE
  - 7 FIRE RISER CONNECTIONS TO BUILDING
  - 8 FIRE HYDRANT
  - 9 TRENCH DRAIN



NO.	DATE	DESCRIPTION
1	08/30/24	ZONING SUBMITTAL

**MODULA INC EXPANSION**  
 5000 COMMERCE CENTER DRIVE  
 FRANKLIN, OH 45005

PROJECT NO: 220187.002  
 DATE: 2024-08-15  
 SCALE:

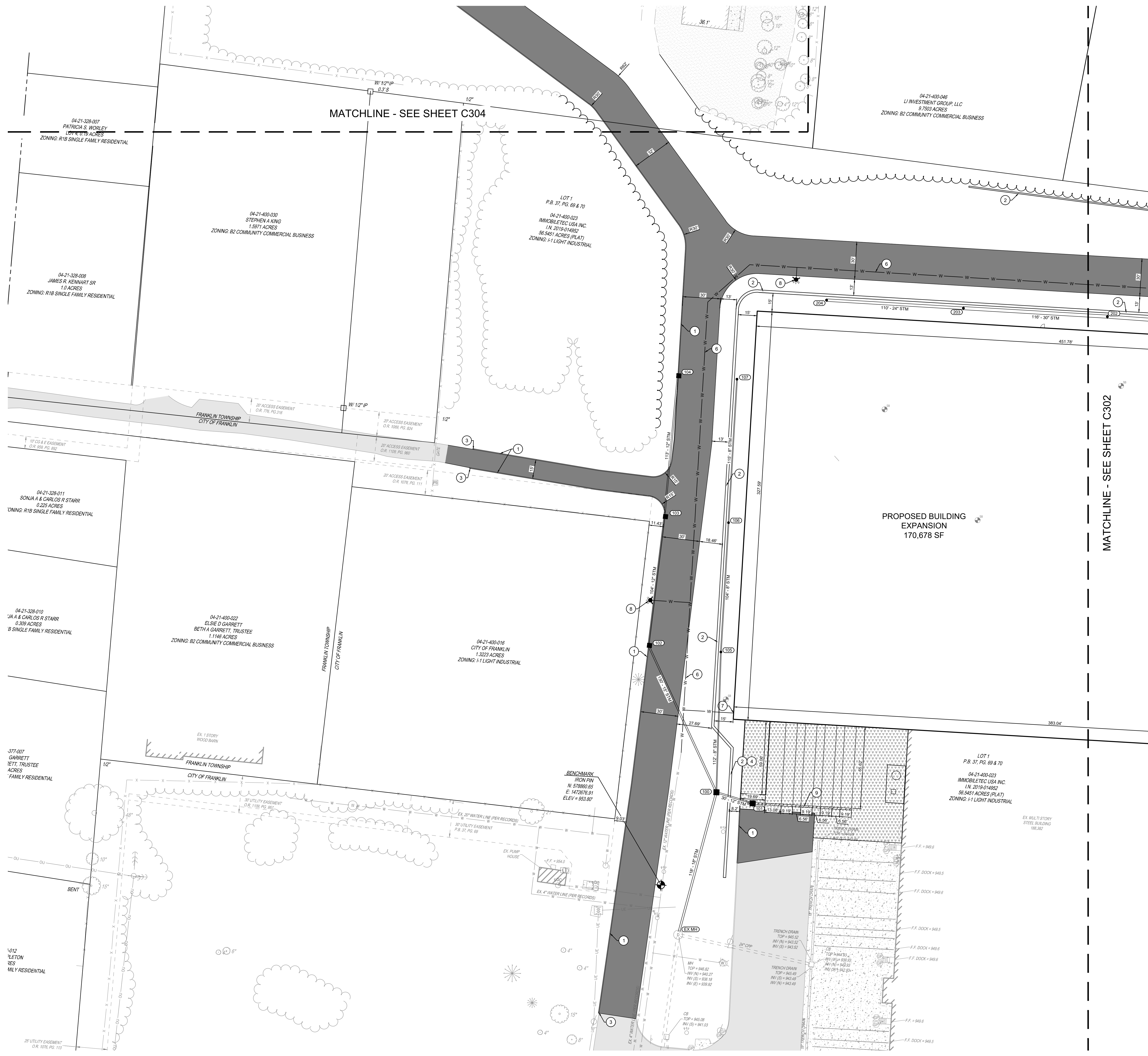


SHEET NAME:  
**EAST LOCATION PLAN**

SHEET NO.  
**C302**



NOTE:  
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



- PROPOSED LEGEND**
- CATCH BASIN
  - CURB INLET
  - YARD DRAIN
  - HEADWALL
  - MANHOLE
  - STORM SEWER CLEANOUT
  - DOWNSPOUT
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
  - FIRE HYDRANT
  - WATER VALVE
  - POST INDICATOR VALVE
  - FIRE DEPARTMENT CONNECTION
  - ASPHALT PAVEMENT
  - CONCRETE WALK
  - HEAVY DUTY CONCRETE PAVEMENT

- LOCATION PLAN NOTES**
1. ALL CURB RADII ARE MEASURED FROM THE EDGE OF PAVEMENT/FACE OF CURB. RADII ARE 5' UNLESS OTHERWISE NOTED.
  2. DIMENSIONS MEASURED FROM THE EDGE OF PAVEMENT/FACE OF CURB UNLESS OTHERWISE NOTED.
  3. STRIPING SHALL BE 4" WIDE WHITE HIGHWAY-TYPE STRIPING APPLIED IN ACCORDANCE WITH THE PLAN.
  4. REPLACED PARKING STALLS DIMENSIONS TO BE 20' L X 9' W.

**PARKING**

EXISTING PARKING COUNT: 287 SPOTS  
 FINAL PARKING COUNT: 233 SPOTS  
 NET REDUCTION OF 54 SPOTS

- LOCATION PLAN CODED NOTES**
- 1 BARRIER CURB
  - 2 RETAINING WALL DESIGN BUILD BY CONTRACTOR
  - 3 CURB TAPER
  - 4 CONTAINMENT WALL
  - 5 CONTRACTOR TO MODIFY EXISTING FENCE AS NEEDED FOR CONSTRUCTION AND AS INSTRUCTED BY OWNER.
  - 6 12" FIRE LINE
  - 7 FIRE RISER CONNECTIONS TO BUILDING
  - 8 FIRE HYDRANT
  - 9 TRENCH DRAIN

NO.	DATE	DESCRIPTION
1	08/30/24	ZONING SUBMITTAL

PROJECT NO:	220187.002
DATE:	2024-08-15
SCALE:	

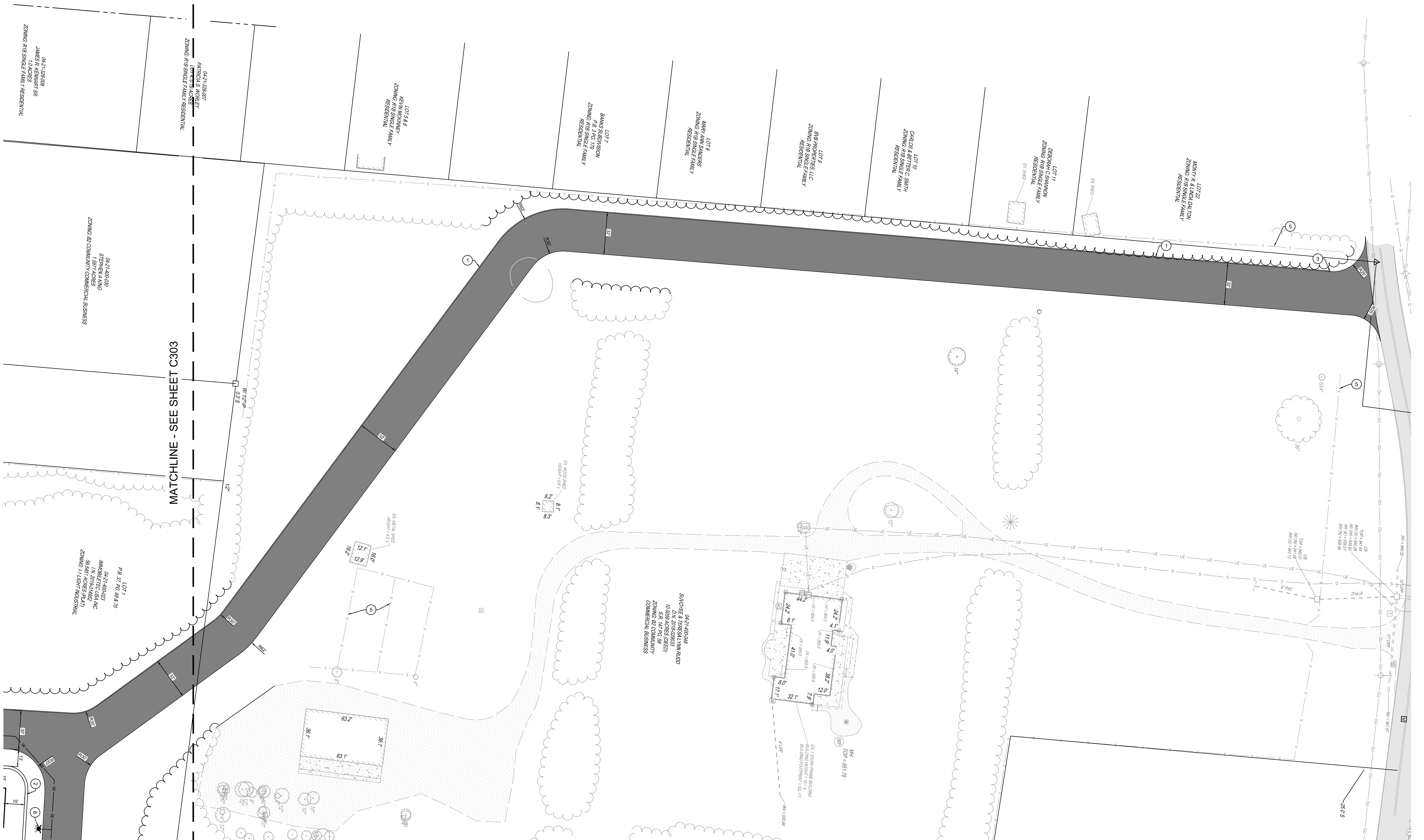
**MODULA INC EXPANSION**  
 5000 COMMERCIAL CENTER DRIVE  
 FRANKLIN, OH 45005

SHEET NAME:  
**WEST LOCATION PLAN**

SHEET NO.  
**C303**



NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



**PROPOSED LEGEND**

- CATCH BASIN
- CURB INLET
- YARD DRAIN
- HEADWALL
- MANHOLE
- STORM SEWER CLEANOUT
- DOWNSPOUT
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- FIRE HYDRANT
- WATER VALVE
- POST INDICATOR VALVE
- FIRE DEPARTMENT CONNECTION
- ASPHALT PAVEMENT
- CONCRETE WALK
- HEAVY DUTY CONCRETE PAVEMENT

**LOCATION PLAN NOTES**

- ALL CURB RADII ARE MEASURED FROM THE EDGE OF PAVEMENT/FACE OF CURB. RADII ARE 5' UNLESS OTHERWISE NOTED.
- DIMENSIONS MEASURED FROM THE EDGE OF PAVEMENT/FACE OF CURB UNLESS OTHERWISE NOTED.
- STRIPING SHALL BE 4" WIDE WHITE HIGHWAY-TYPE STRIPING APPLIED IN ACCORDANCE WITH THE PLAN.
- REPLACED PARKING STALLS DIMENSIONS TO BE 20'L X 9'W.

**PARKING**

EXISTING PARKING COUNT: 287 SPOTS  
 FINAL PARKING COUNT: 233 SPOTS  
 NET REDUCTION OF 54 SPOTS

**LOCATION PLAN CODED NOTES**

- BARRIER CURB
- RETAINING WALL DESIGN BUILD BY CONTRACTOR
- CURB TAPER
- CONTAINMENT WALL
- CONTRACTOR TO MODIFY EXISTING FENCE AS NEEDED FOR CONSTRUCTION AND AS INSTRUCTED BY OWNER.
- 12" FIRE LINE
- FIRE RISER CONNECTIONS TO BUILDING
- FIRE HYDRANT
- TRENCH DRAIN

NO.	DATE	DESCRIPTION
1	08/30/24	ZONING SUBMITTAL

**MODULA INC EXPANSION**  
 5000 COMMERCE CENTER DRIVE  
 FRANKLIN, OH 45005

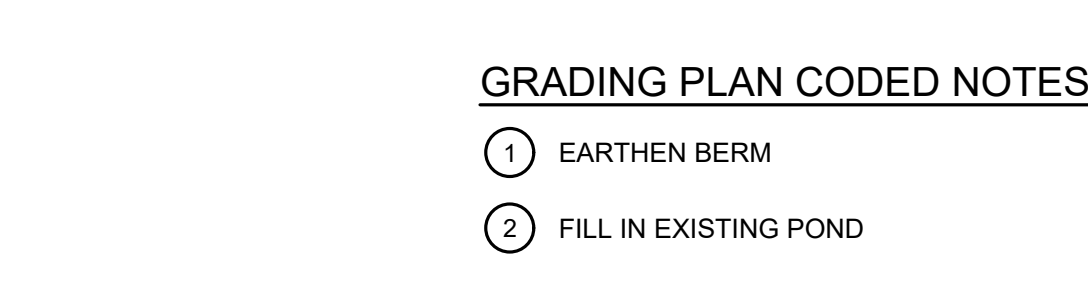
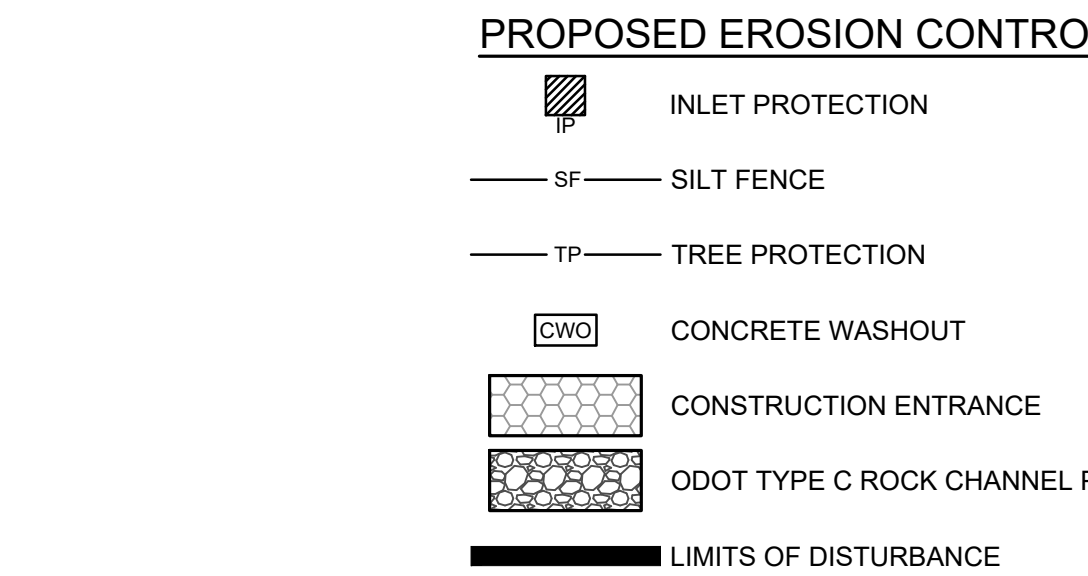
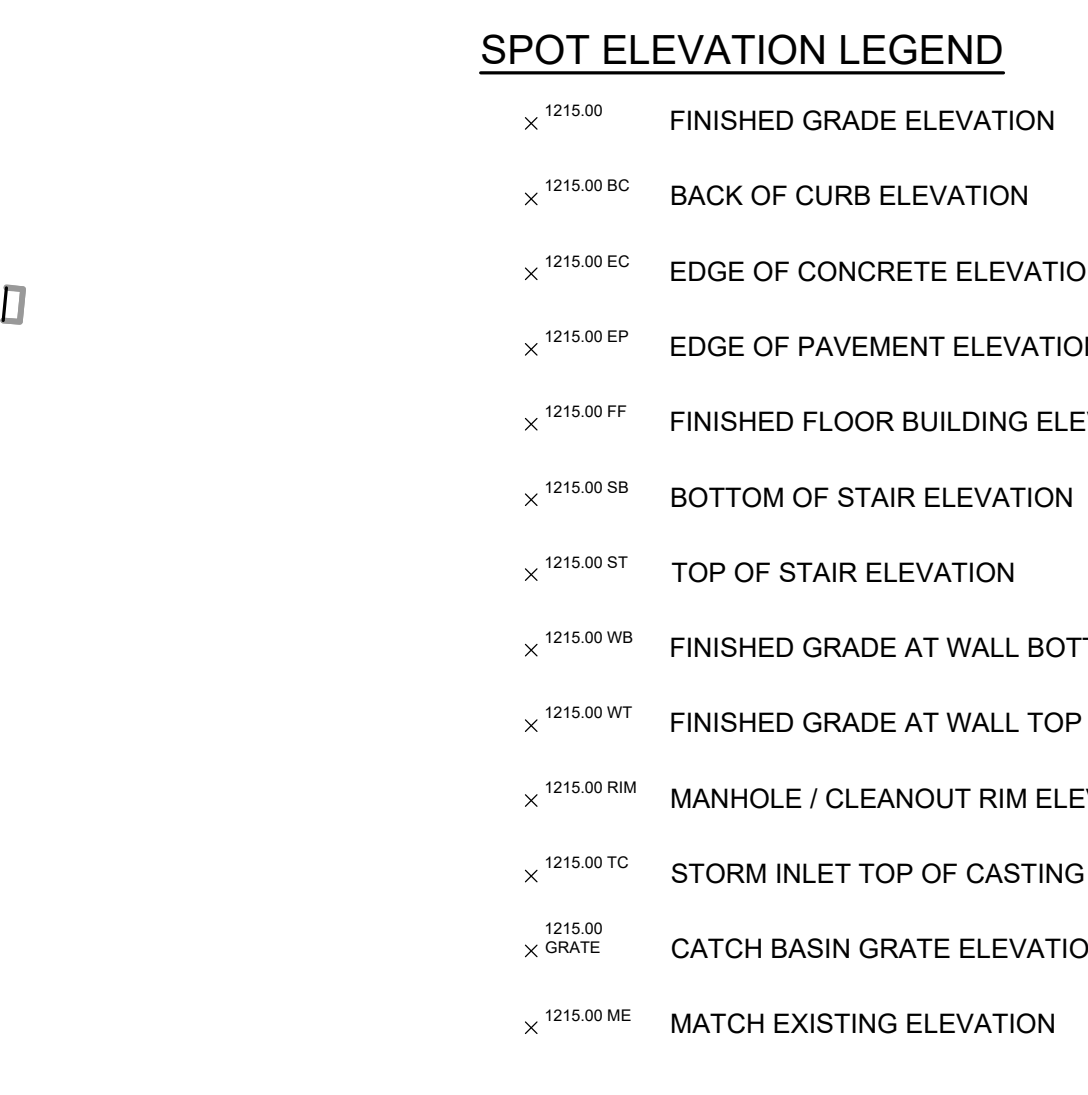
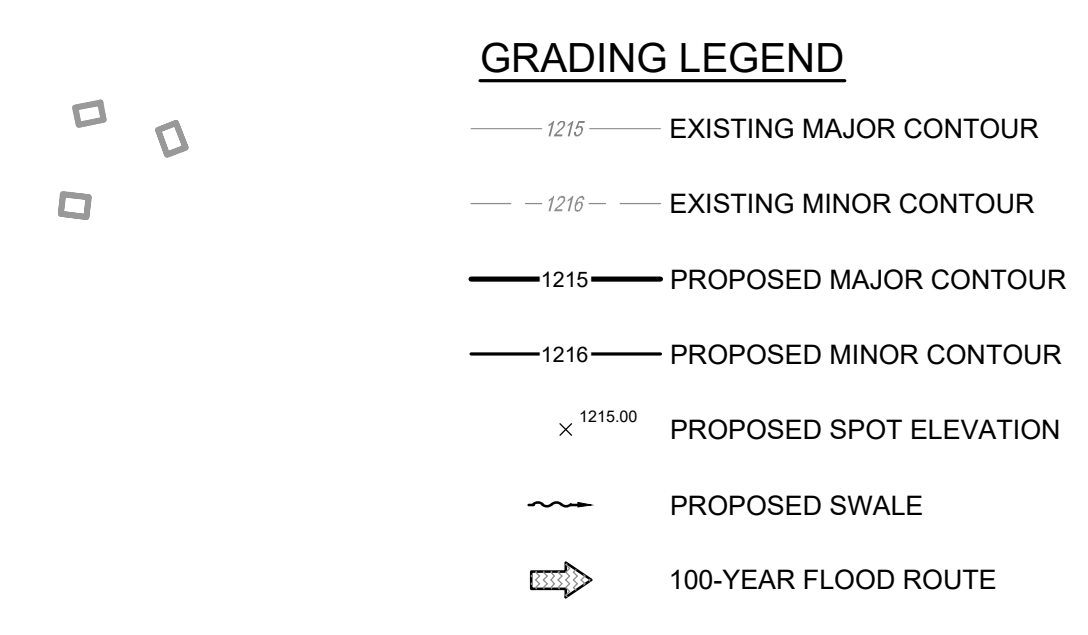
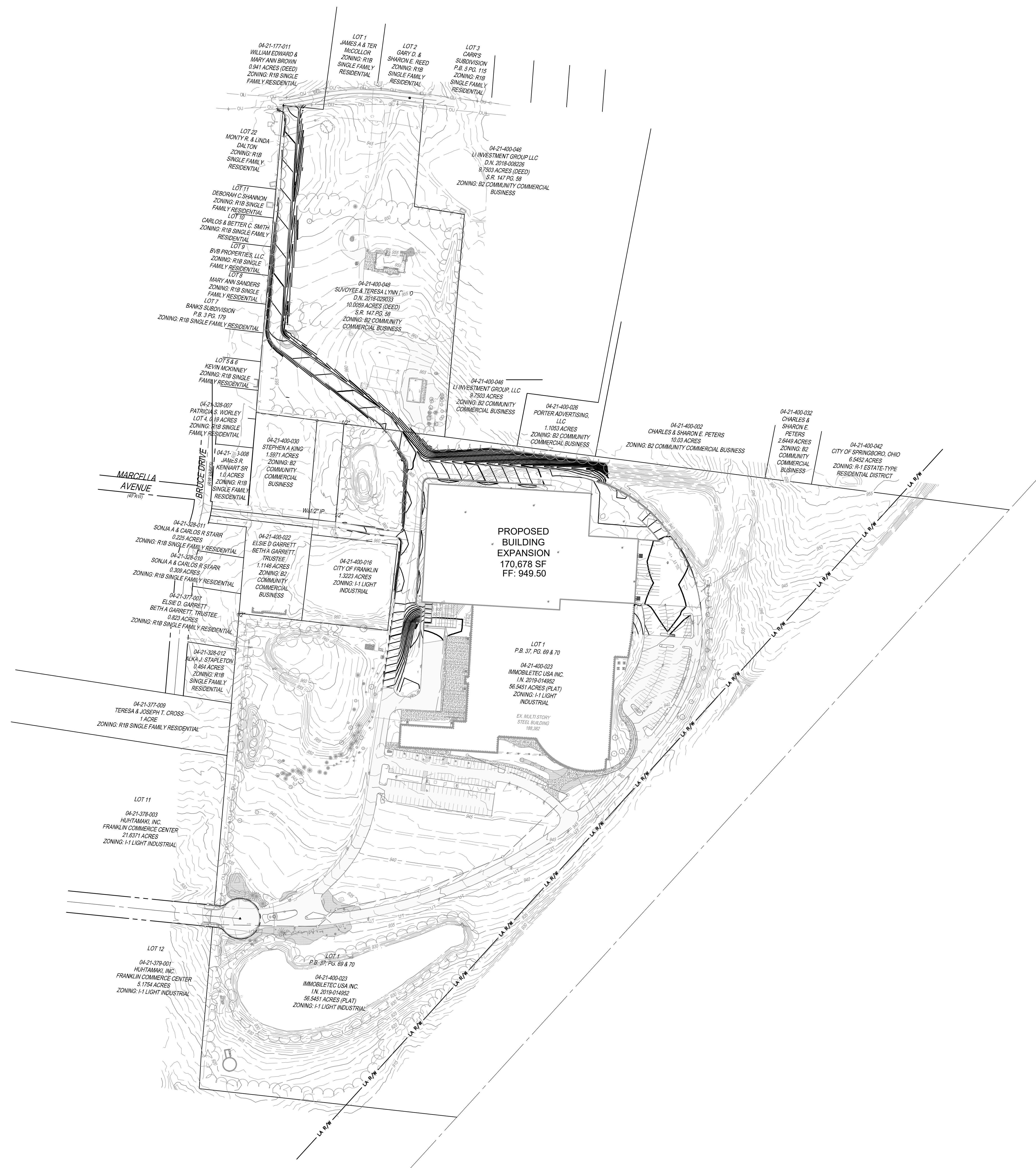
PROJECT NO: 220187.002  
 DATE: 2024-08-15  
 SCALE:



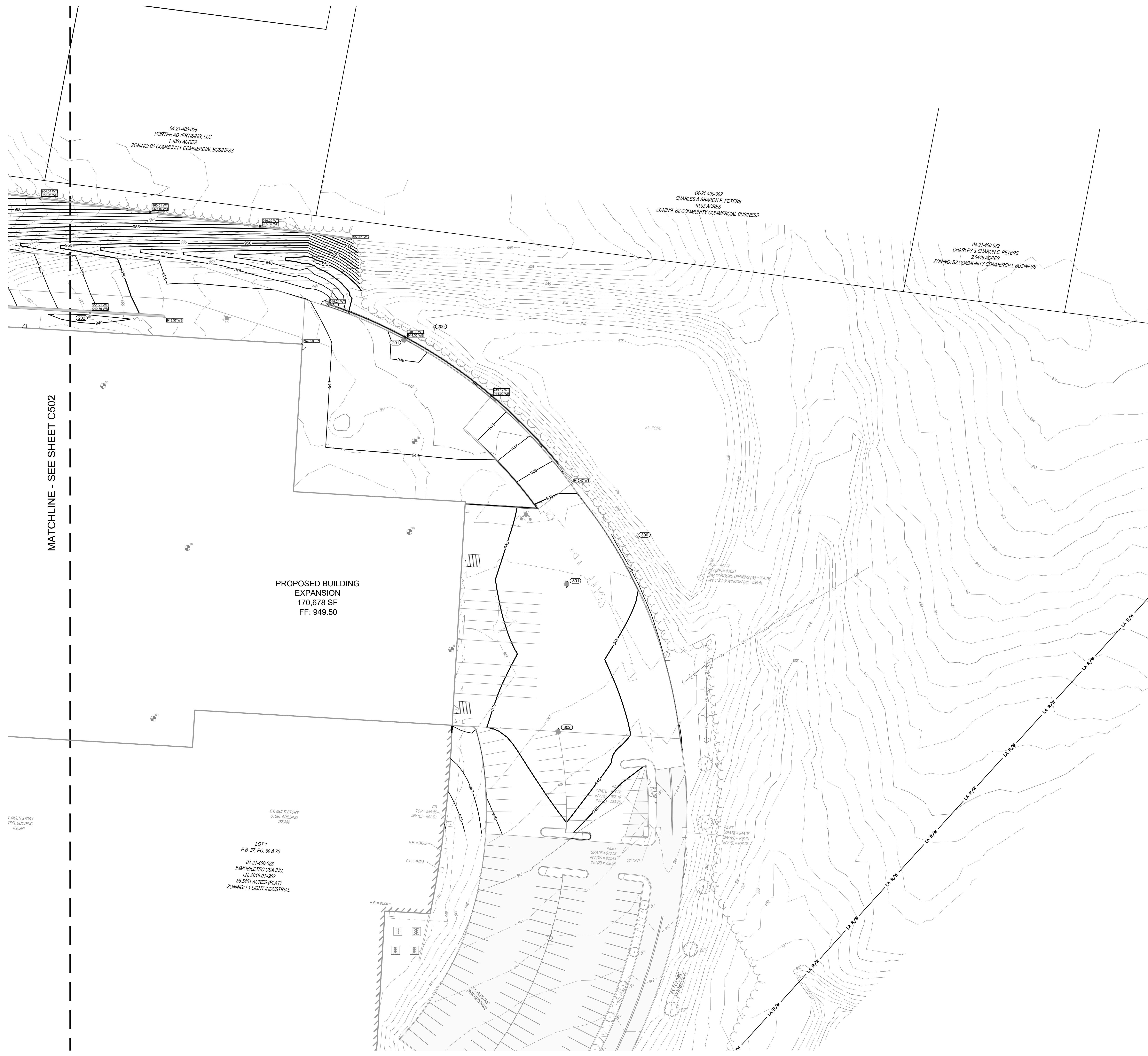
NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

SHEET NAME:  
**NORTH LOCATION PLAN**

SHEET NO.  
**C304**



NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



**GRADING LEGEND**

- 1215 — EXISTING MAJOR CONTOUR
- 1216 — EXISTING MINOR CONTOUR
- 1215 — PROPOSED MAJOR CONTOUR
- 1216 — PROPOSED MINOR CONTOUR
- x 1215.00 PROPOSED SPOT ELEVATION
- ~ PROPOSED SWALE
- ➔ 100-YEAR FLOOD ROUTE

**SPOT ELEVATION LEGEND**

- x 1215.00 FINISHED GRADE ELEVATION
- x 1215.00 BC BACK OF CURB ELEVATION
- x 1215.00 EC EDGE OF CONCRETE ELEVATION
- x 1215.00 EP EDGE OF PAVEMENT ELEVATION
- x 1215.00 FF FINISHED FLOOR BUILDING ELEVATION
- x 1215.00 SB BOTTOM OF STAIR ELEVATION
- x 1215.00 ST TOP OF STAIR ELEVATION
- x 1215.00 WB FINISHED GRADE AT WALL BOTTOM
- x 1215.00 WT FINISHED GRADE AT WALL TOP
- x 1215.00 RM MANHOLE / CLEANOUT RIM ELEVATION
- x 1215.00 TC STORM INLET TOP OF CASTING ELEVATION
- x 1215.00 GR GRATE
- x 1215.00 ME MATCH EXISTING ELEVATION

**PROPOSED EROSION CONTROL LEGEND**

- ▨ INLET PROTECTION
- SF — SILT FENCE
- TP — TREE PROTECTION
- ☐ CWO CONCRETE WASHOUT
- ▨ CE CONSTRUCTION ENTRANCE
- ▨ ODOT TYPE C ROCK CHANNEL PROTECTION
- LD — LIMITS OF DISTURBANCE

**GRADING PLAN CODED NOTES**

- 1 EARTHEN BERM
- 2 FILL IN EXISTING POND

SEAL:

NO.	DATE	DESCRIPTION
1	08/30/24	ZONING SUBMITTAL

**MODULA INC EXPANSION**  
 5000 COMMERCE CENTER DRIVE  
 FRANKLIN, OH 45005

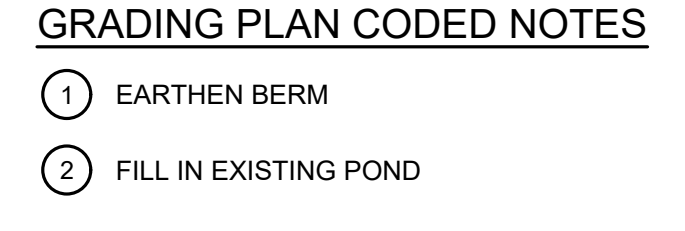
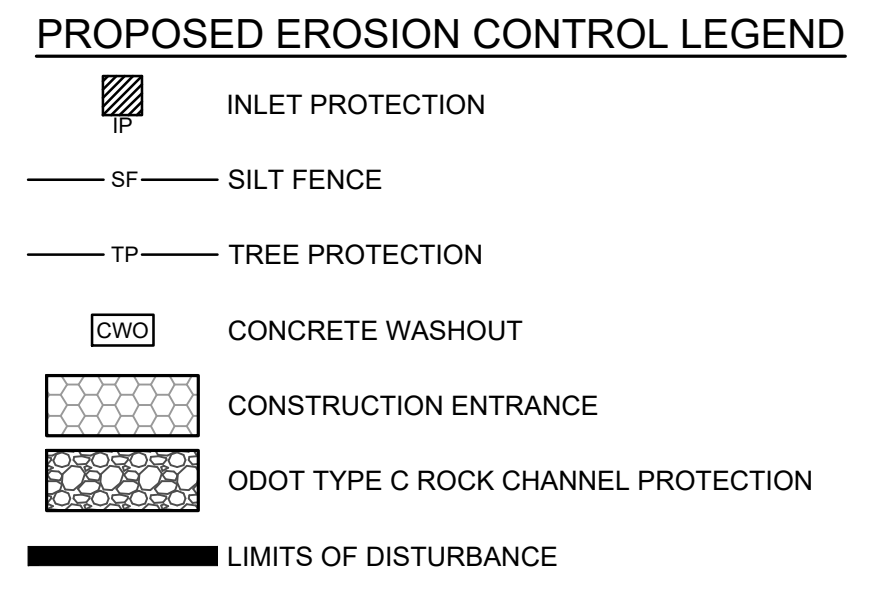
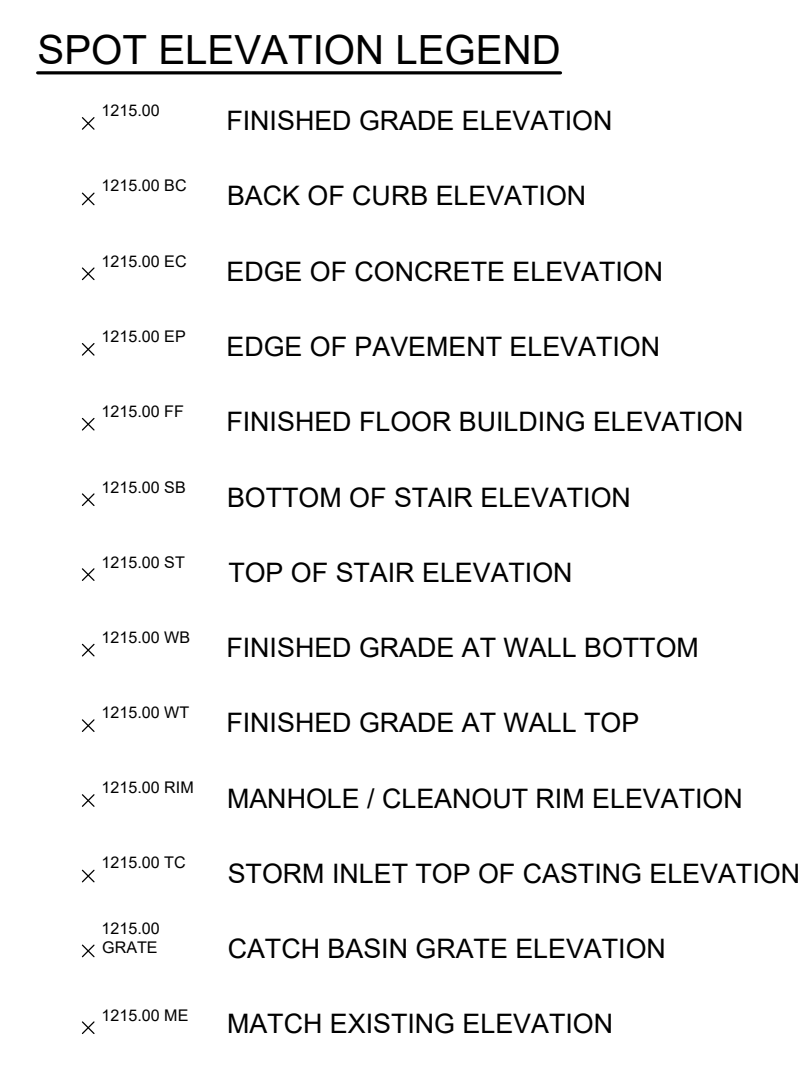
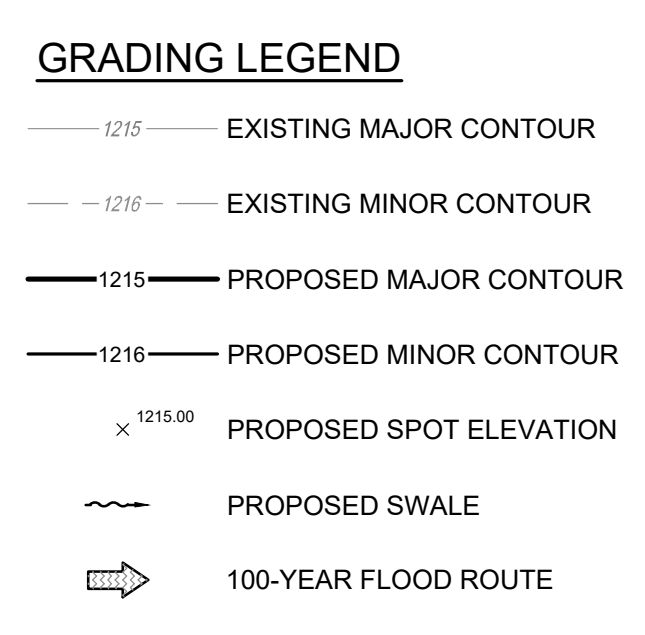
PROJECT NO: 220187.002  
 DATE: 2024-08-15  
 SCALE: 1" = 30'

SHEET NAME:  
**EAST GRADING AND EROSION CONTROL PLAN**

SHEET NO.  
**C501**



NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



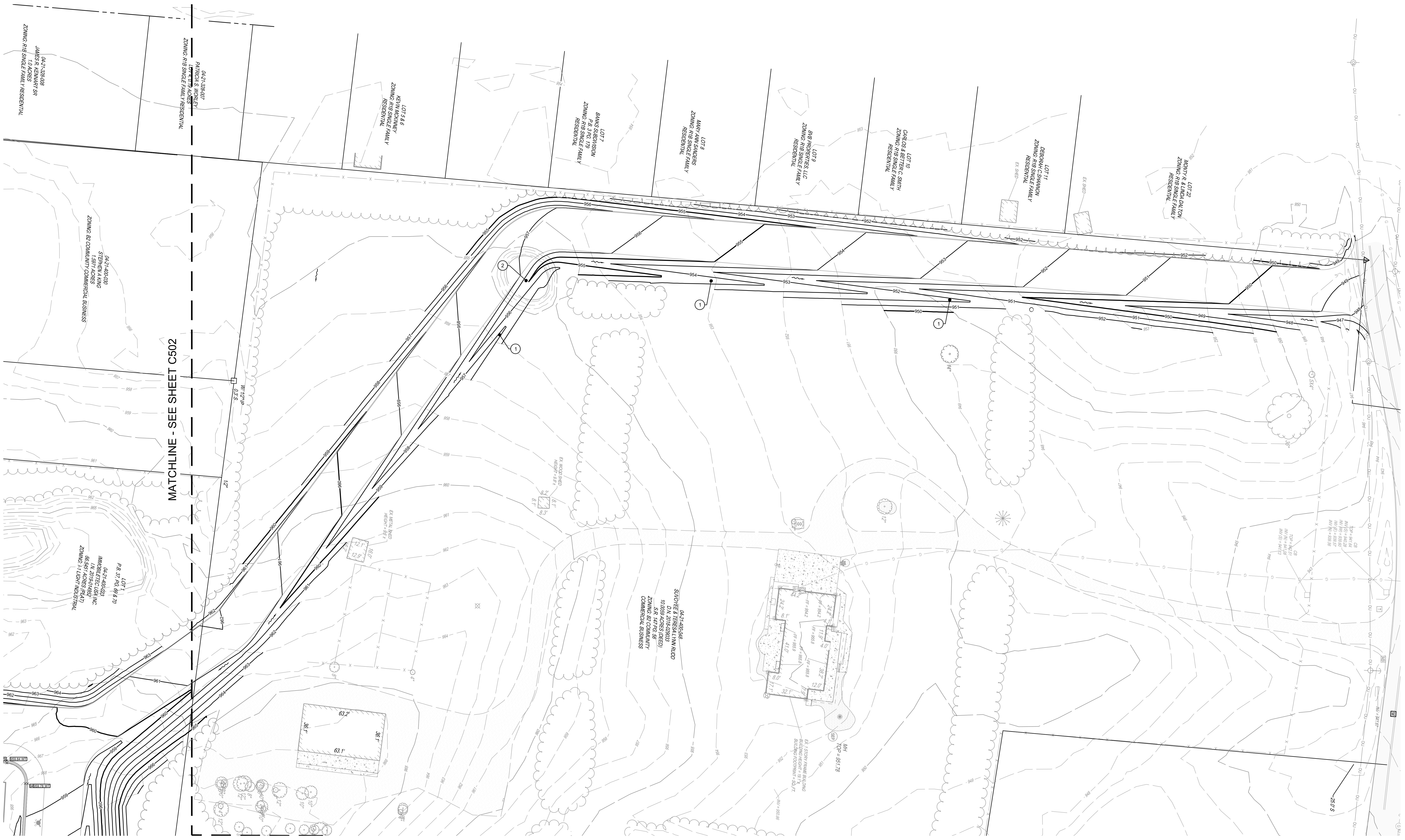
MATCHLINE - SEE SHEET C501



NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

SEAL:	
NO. DATE	DESCRIPTION
1 08/30/24	ZONING SUBMITTAL
<p><b>MODULA INC EXPANSION</b>                  5000 COMMERCE CENTER DRIVE                  FRANKLIN, OH 45005</p>	
PROJECT NO:	220187.002
DATE:	2024-08-15
SCALE:	
SHEET NAME:	
<b>WEST GRADING AND EROSION CONTROL PLAN</b>	
SHEET NO.:	
<b>C502</b>	





**GRADING LEGEND**

- 1215 — EXISTING MAJOR CONTOUR
- 1216 — EXISTING MINOR CONTOUR
- 1215 — PROPOSED MAJOR CONTOUR
- 1216 — PROPOSED MINOR CONTOUR
- × 1210.00 — PROPOSED SPOT ELEVATION
- ~ ~ ~ PROPOSED SWALE
- ➔ 100-YEAR FLOOD ROUTE

**PROPOSED EROSION CONTROL LEGEND**

- ▨ INLET PROTECTION
- SF — SILT FENCE
- TP — TREE PROTECTION
- ▨ CONCRETE WASHOUT
- ▨ CONSTRUCTION ENTRANCE
- ▨ ODOT TYPE C ROCK CHANNEL PROTECTION
- ▭ LIMITS OF DISTURBANCE

**SPOT ELEVATION LEGEND**

- × 1215.00 FINISHED GRADE ELEVATION
- × 1215.00 BC BACK OF CURB ELEVATION
- × 1215.00 EC EDGE OF CONCRETE ELEVATION
- × 1215.00 EP EDGE OF PAVEMENT ELEVATION
- × 1215.00 FF FINISHED FLOOR BUILDING ELEVATION
- × 1215.00 SB BOTTOM OF STAIR ELEVATION
- × 1215.00 ST TOP OF STAIR ELEVATION
- × 1215.00 WB FINISHED GRADE AT WALL BOTTOM
- × 1215.00 WT FINISHED GRADE AT WALL TOP
- × 1215.00 RM MANHOLE / CLEANOUT RIM ELEVATION
- × 1215.00 TC STORM INLET TOP OF CASTING ELEVATION
- × 1215.00 GR GRATE
- × 1215.00 ME MATCH EXISTING ELEVATION

**GRADING PLAN CODED NOTES**

- ① EARTHEN BERM
- ② FILL IN EXISTING POND

SEAL:

NO.	DATE	DESCRIPTION
1	08/30/24	ZONING SUBMITTAL

**MODULA INC EXPANSION**  
 5000 COMMERCE CENTER DRIVE  
 FRANKLIN, OH 45005

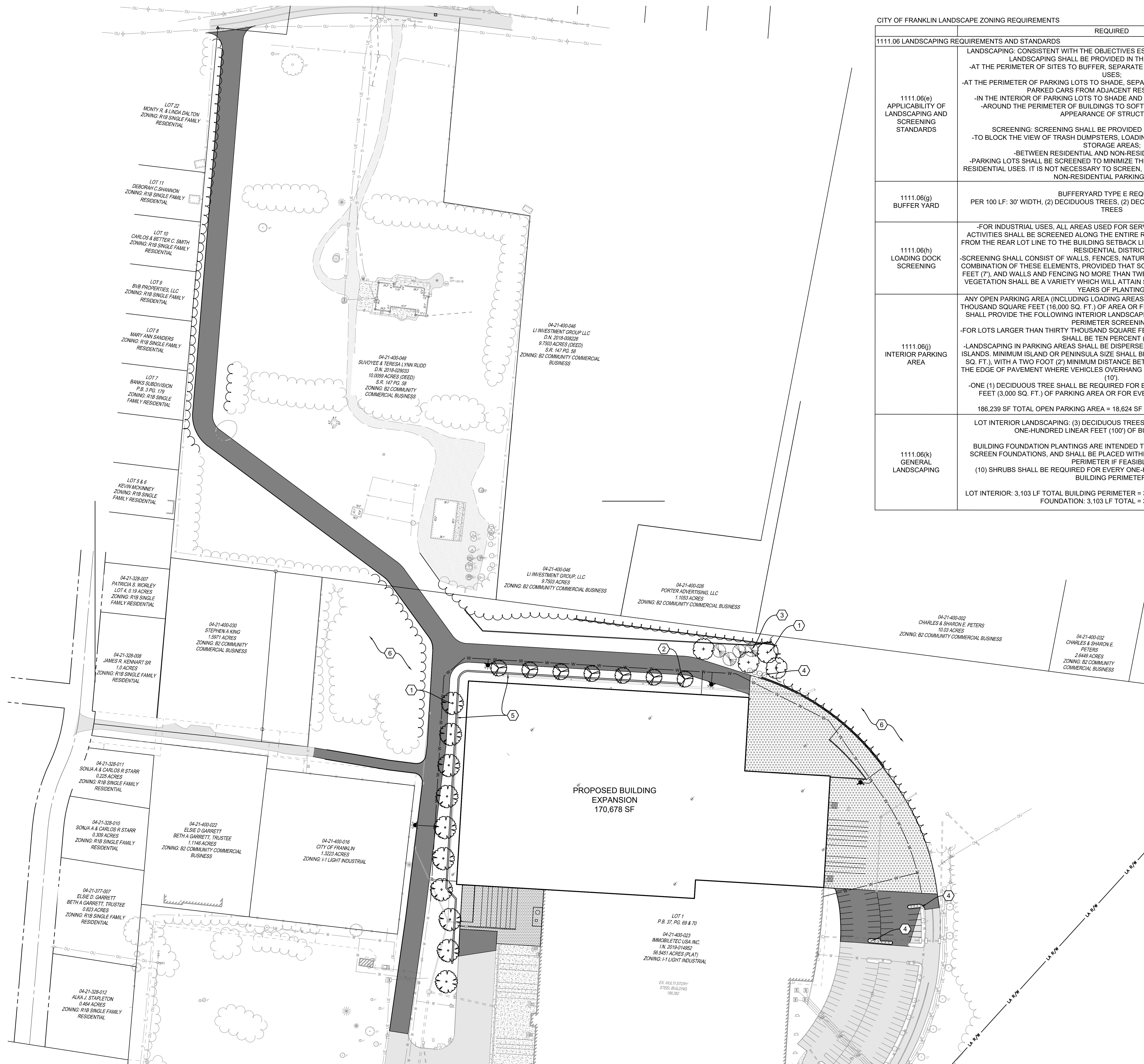
PROJECT NO: 220187.002  
 DATE: 2024-08-15  
 SCALE:

SHEET NAME:  
**NORTH GRADING AND EROSION CONTROL PLAN**

SHEET NO:  
**C503**



NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



	REQUIRED	PROPOSED
<b>CITY OF FRANKLIN LANDSCAPE ZONING REQUIREMENTS</b>		
<b>1111.06 LANDSCAPING REQUIREMENTS AND STANDARDS</b>		
1111.06(e) APPLICABILITY OF LANDSCAPING AND SCREENING STANDARDS	<p>LANDSCAPING: CONSISTENT WITH THE OBJECTIVES ESTABLISHED IN SECTION 1111.06(A), LANDSCAPING SHALL BE PROVIDED IN THE FOLLOWING AREAS:</p> <ul style="list-style-type: none"> <li>-AT THE PERIMETER OF SITES TO BUFFER, SEPARATE AND/OR SCREEN ADJACENT LAND USES;</li> <li>-AT THE PERIMETER OF PARKING LOTS TO SHADE, SEPARATE AND/OR SCREEN THE VIEW OF PARKED CARS FROM ADJACENT RESIDENTIAL USES;</li> <li>-IN THE INTERIOR OF PARKING LOTS TO SHADE AND BEAUTIFY THE PAVED SURFACE;</li> <li>-AROUND THE PERIMETER OF BUILDINGS TO SOFTEN, SHADE AND ENHANCE THE APPEARANCE OF STRUCTURES.</li> </ul> <p>SCREENING: SCREENING SHALL BE PROVIDED IN THE FOLLOWING AREAS:</p> <ul style="list-style-type: none"> <li>-TO BLOCK THE VIEW OF TRASH DUMPSTERS, LOADING AREAS, SERVICE COURTS AND STORAGE AREAS;</li> <li>-BETWEEN RESIDENTIAL AND NON-RESIDENTIAL LAND USES;</li> <li>-PARKING LOTS SHALL BE SCREENED TO MINIMIZE THE VIEW OF CARS FROM ADJACENT RESIDENTIAL USES. IT IS NOT NECESSARY TO SCREEN, BUT ONLY TO SEPARATE ADJACENT NON-RESIDENTIAL PARKING AREAS.</li> </ul>	
1111.06(g) BUFFER YARD	BUFFERYARD TYPE E REQUIRED: PER 100 LF: 30' WIDTH, (2) DECIDUOUS TREES, (2) DECIDUOUS SHRUBS, (2) EVERGREEN TREES	(4) DECIDUOUS TREES, (4) DECIDUOUS SHRUBS, & (4) EVERGREEN TREES PROVIDED TO FILL IN GAPS IN EXISTING PERIMETER VEGETATION
1111.06(h) LOADING DOCK SCREENING	-FOR INDUSTRIAL USES, ALL AREAS USED FOR SERVICE, LOADING AND UNLOADING ACTIVITIES SHALL BE SCREENED ALONG THE ENTIRE REAR LOT LINE AND SIDE LOT LINES FROM THE REAR LOT LINE TO THE BUILDING SETBACK LINE, IF ADJACENT TO OR ABUTTING A RESIDENTIAL DISTRICT. -SCREENING SHALL CONSIST OF WALLS, FENCES, NATURAL VEGETATION OR AN ACCEPTABLE COMBINATION OF THESE ELEMENTS, PROVIDED THAT SCREENING MUST BE AT LEAST SEVEN FEET (7'), AND WALLS AND FENCING NO MORE THAN TWELVE FEET (12') IN HEIGHT. NATURAL VEGETATION SHALL BE A VARIETY WHICH WILL ATTAIN SEVEN FEET IN HEIGHT WITHIN FIVE YEARS OF PLANTING.	SCREENING SHRUBS PROVIDED IN ADDITION TO EXISTING PERIMETER VEGETATION
1111.06(i) INTERIOR PARKING AREA	ANY OPEN PARKING AREA (INCLUDING LOADING AREAS) CONTAINING MORE THAN SIXTEEN THOUSAND SQUARE FEET (16,000 SQ. FT.) OF AREA OR FIFTY (50) OR MORE PARKING SPACES SHALL PROVIDE THE FOLLOWING INTERIOR LANDSCAPING IN ADDITION TO THE REQUIRED PERIMETER SCREENING: -FOR LOTS LARGER THAN THIRTY THOUSAND SQUARE FEET (30,000), THE LANDSCAPED AREA SHALL BE TEN PERCENT (10%) -LANDSCAPING IN PARKING AREAS SHALL BE DISPERSED THROUGHOUT IN PENINSULAS OR ISLANDS. MINIMUM ISLAND OR PENINSULA SIZE SHALL BE TWO HUNDRED SQUARE FEET (200 SQ. FT.), WITH A TWO FOOT (2') MINIMUM DISTANCE BETWEEN ALL TREES OR SHRUBS AND THE EDGE OF PAVEMENT WHERE VEHICLES OVERHANG AND A MINIMUM WIDTH OF TEN FEET (10'). -ONE (1) DECIDUOUS TREE SHALL BE REQUIRED FOR EVERY THREE THOUSAND SQUARE FEET (3,000 SQ. FT.) OF PARKING AREA OR FOR EVERY TEN (10) PARKING SPACES. 186,239 SF TOTAL OPEN PARKING AREA = 18,624 SF INTERIOR PLANTING REQUIRED	14,981 SF EXISTING INTERIOR PARKING AREA PLANTING; ADDITIONAL ±200,000 SF OF NATURAL VEGETATION DIRECTLY ADJACENT TO NEW LOT AREA.
1111.06(k) GENERAL LANDSCAPING	LOT INTERIOR LANDSCAPING: (3) DECIDUOUS TREES SHALL BE REQUIRED FOR EACH ONE-HUNDRED LINEAR FEET (100') OF BUILDING PERIMETER BUILDING FOUNDATION PLANTINGS ARE INTENDED TO SOFTEN BUILDING EDGES AND SCREEN FOUNDATIONS, AND SHALL BE PLACED WITHIN FIVE FEET (5') OF THE BUILDING PERIMETER IF FEASIBLE. (10) SHRUBS SHALL BE REQUIRED FOR EVERY ONE-HUNDRED LINEAR FEET (100') OF BUILDING PERIMETER. LOT INTERIOR: 3,103 LF TOTAL BUILDING PERIMETER = 31 TREES & 310 SHRUBS REQUIRED FOUNDATION: 3,103 LF TOTAL = 310 SHRUBS	EXISTING LOT TREES MEET MINIMUM REQUIREMENTS FOR SITE; 21,000 SF EXISTING FOUNDATION PLANTINGS; PAVEMENT AND RETAINING WALL MAKES SHRUB PLANTINGS AROUND BUILDING EXPANSION IMPRACTICAL, 17 LARGE SHADE TREES PLANTED ALONG PERIMETER OF EXPANSION.

**LEGEND**

**PLANT MATERIAL**

- DECIDUOUS TREE, TYP.
- ORNAMENTAL TREE, TYP.
- EVERGREEN TREE, TYP.
- SHRUBS, TYP.
- PERENNIALS & ORNAMENTAL GRASSES, TYP.
- EXISTING TREES TO REMAIN, PROTECT IN PLACE

- CONSTRUCTION NOTES:**
- 1 LARGE SHADE TREE, TYP.
  - 2 MEDIUM SHADE TREE, TYP.
  - 3 EVERGREEN TREE, TYP.
  - 4 SHRUBS, TYP.
  - 5 PROPOSED RETAINING WALL
  - 6 EXISTING VEGETATION



NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

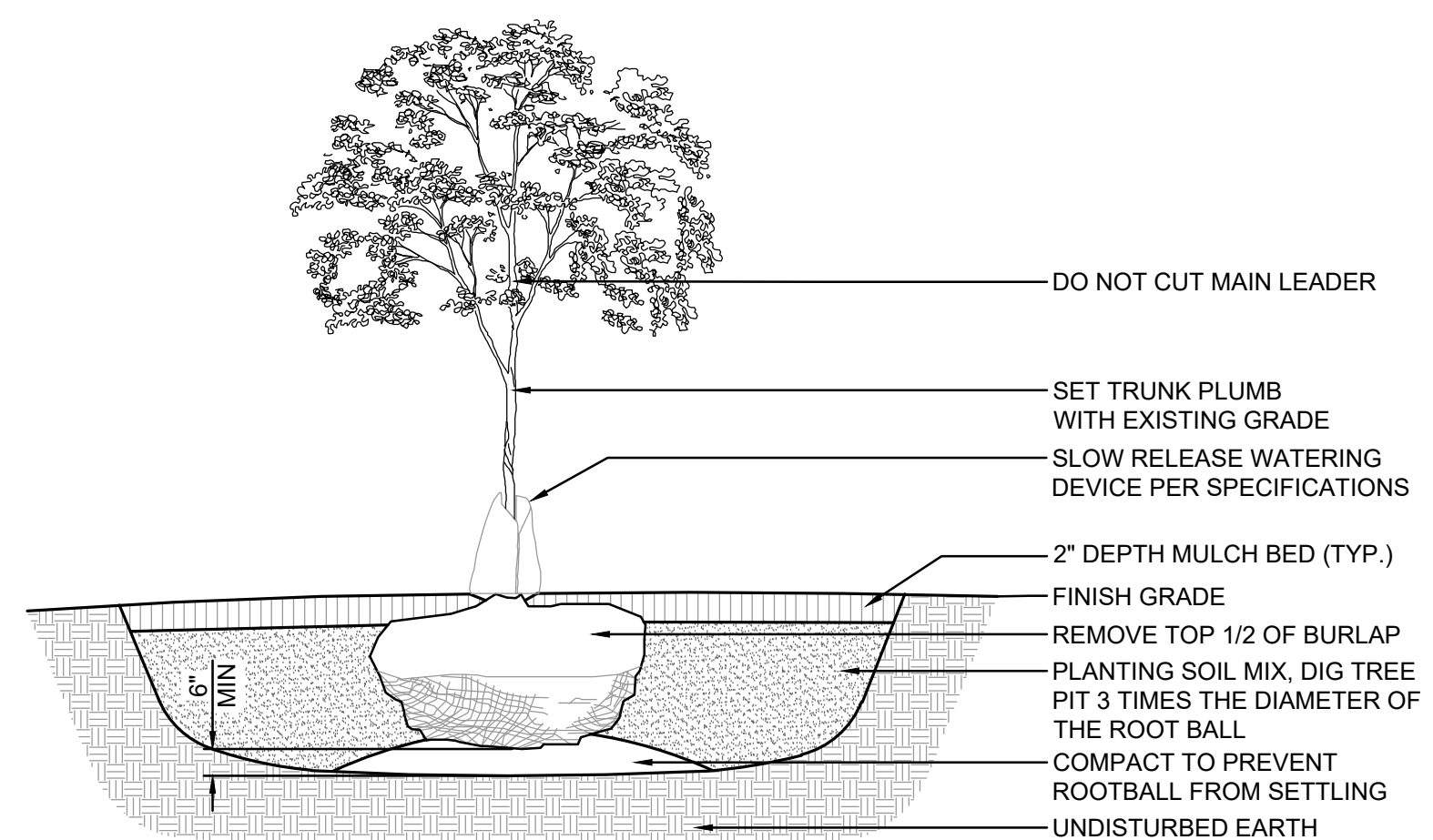
NO.	DATE	DESCRIPTION
1	08/30/24	ZONING SUBMITTAL

**MODULA INC EXPANSION**  
5000 COMMERCE CENTER DRIVE  
FRANKLIN, OH 45005

PROJECT NO: 220187.002  
DATE: 2024-08-15  
SCALE:

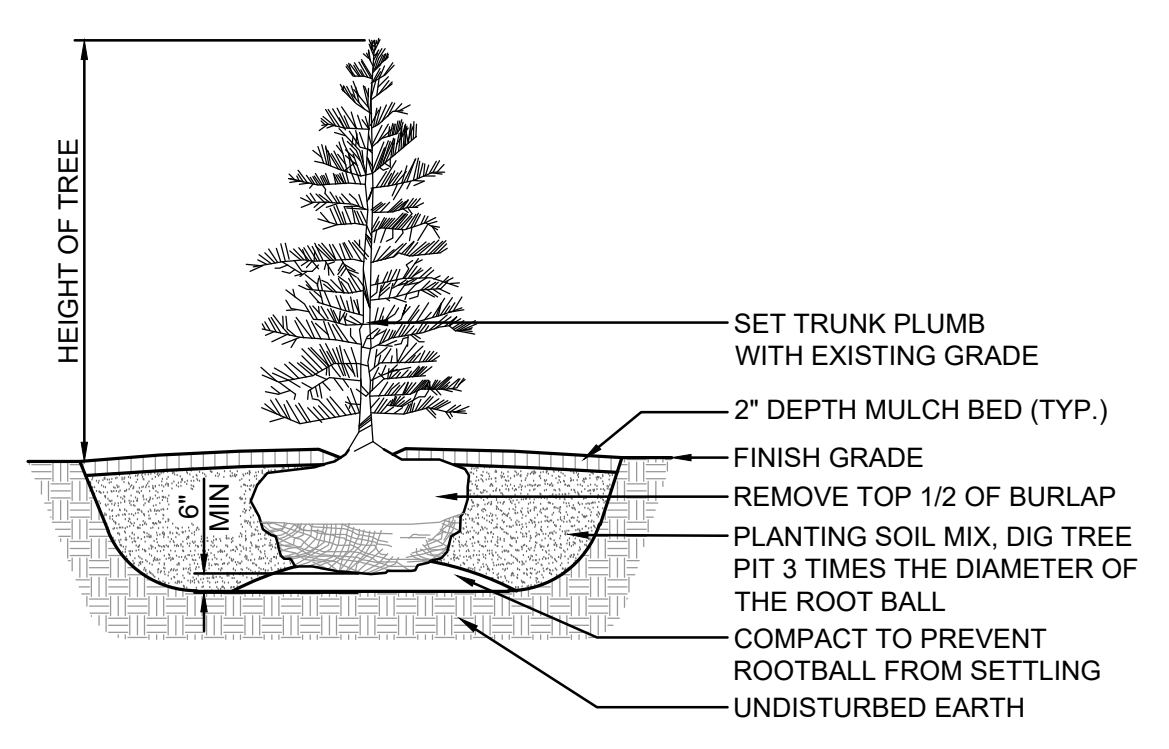
**OVERALL LANDSCAPE PLAN**

SHEET NO. **L100**



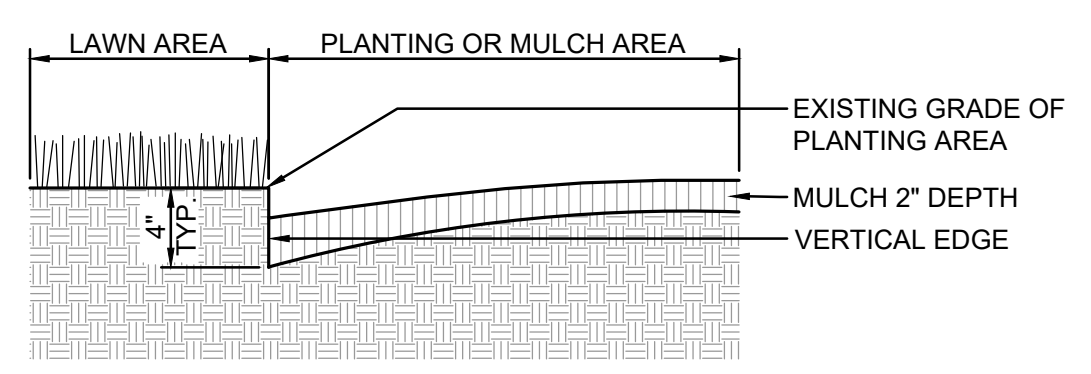
- NOTES:
1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE
  2. REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.
  3. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.
  4. DO NOT STAKE AND GUY TREES UNLESS NEEDED FOR STABILITY BASED ON SITE CONDITIONS OR A DIRECTED BY OWNER'S REPRESENTATIVE.
  5. PROVIDE SLOW RELEASE WATERING DEVICE, ONE PER TREE. REFER TO SPECIFICATIONS.

DECIDUOUS TREE PLANTING WITH WATERING DEVICE  
N.T.S.

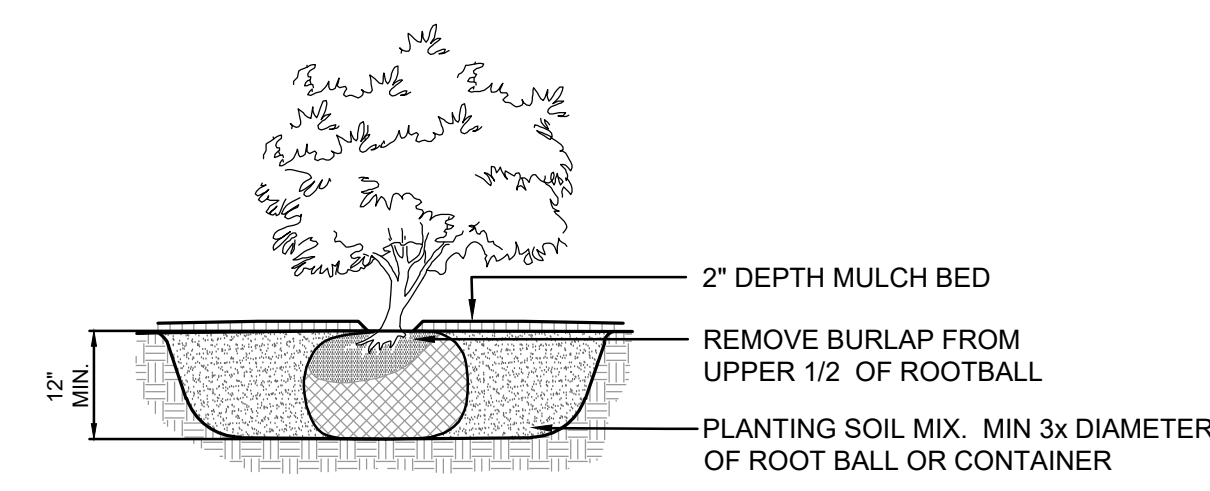


- NOTES:
1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE.
  2. REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.
  3. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.
  4. DO NOT STAKE AND GUY TREES UNLESS NEEDED FOR STABILITY BASED ON SITE CONDITIONS OR A DIRECTED BY OWNER'S REPRESENTATIVE.

EVERGREEN TREE PLANTING  
N.T.S.



PLANTING BED / TREE PIT EDGING DETAIL  
N.T.S.



SHRUB PLANTING  
N.T.S.

- PLANTING NOTES
1. EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
  2. CONTRACTOR SHALL VERIFY ALL PLANTING CONDITIONS FOR OBSTRUCTIONS, EXISTING TREE CANOPY COVERAGE, AND OVERHEAD ELECTRICAL POWER LINES PRIOR TO PLANTING. IF ADVERSE PLANTING CONDITIONS ARE OBSERVED, CONTACT THE OWNERS REPRESENTATIVE IMMEDIATELY.
  3. ALL SHRUB MASSES TO BE INCORPORATED BY A CONTINUOUS MULCH BED TO LIMITS SHOWN AND AS SPECIFIED. MULCH BEDS TO HAVE A NEAT, EDGED APPEARANCE.
  4. SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
  5. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND SEEDED.
  6. ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM.
  7. THE CONTRACTOR SHALL ENSURE THAT ALL NEWLY PLANTED TREES ARE PERFECTLY ALIGNED AND SET PLUMB WITH PROPER RELATIONSHIP TO THE SURROUNDING GRADE. CONFIRM FINISHED GRADE PRIOR TO PLANTING.
  8. ALL PLANT MATERIAL SHALL BE OF THE SIZE AND TYPE SPECIFIED. IF SUBSTITUTIONS ARE APPROVED BY THE OWNERS REPRESENTATIVE, THE SIZE AND GRADING STANDARDS SHALL CONFORM TO THOSE OF AMERICANHORT.
  9. PRIOR TO ORDERING PLANT MATERIAL, THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLAN, LABELS, AND PLANT SCHEDULE.

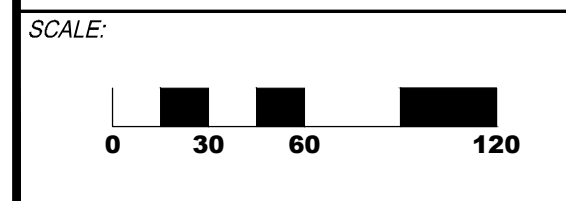
- GENERAL NOTES
1. EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
  2. SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
  3. ALL CONCRETE FORMS SHALL BE FIELD STAKED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONCRETE INSTALLATION.
  4. ALL HORIZONTAL AND VERTICAL LAYOUT SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE TO ENSURE GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
  5. PROVIDE ISOLATION JOINT WHERE CONCRETE PAVING ABUTS BUILDINGS, COLUMNS, AND STRUCTURES. VERIFY COLOR OF SEALANT WITH OWNER'S REPRESENTATIVE.
  6. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
  7. CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH SITE SUPERINTENDENT, APPROPRIATE AGENCIES, AND PLANS FOR LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES.
  8. CONTRACTOR TO REPORT TO ENGINEER ANY ADDITIONAL UTILITY LINES FOUND DURING CONSTRUCTION.

SEAL:

NO.	DATE	DESCRIPTION
1	08/30/24	ZONING SUBMITTAL

**MODULA INC EXPANSION**  
5000 COMMERCE CENTER DRIVE  
FRANKLIN, OH 45005

PROJECT NO: 220187.002  
DATE: 2024-08-15



SHEET NAME:

**LANDSCAPE DETAILS**

SHEET NO.  
**L101**



NOTE:  
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.