



**BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO**

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***TOM GROSSMANN
SHANNON JONES
DAVID G. YOUNG***

**BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO**

MINUTES: Regular Session – June 18, 2024

This is a summary of actions and discussions of the meeting. You may view this meeting through our YouTube Channel at <https://www.youtube.com/channel/UC1ELh0jGpXd4VV2DTgsuqPA> or by contacting our office.

The Board met in regular session pursuant to adjournment of the June 11, 2024, meeting.

David G. Young – present

Shannon Jones – present

Tom Grossmann – present

Krystal Powell, Clerk – present

Minutes of the June 11, 2024 meeting were read and approved.

- 24-0759 A resolution was adopted approving the end of 365-day probationary period and a pay increase for Deric Lucas within OhioMeansJobs Warren County.
Vote: Unanimous
- 24-0760 A resolution was adopted approving the end of 365-day probationary period and a pay increase for Sarah Roberts within OhioMeansJobs Warren County.
Vote: Unanimous
- 24-0761 A resolution was adopted approving the end of 365-day probationary period and a pay increase for Madison McClain within the Water and Sewer Department.
Vote: Unanimous
- 24-0762 A resolution was adopted approving a pay increase for Charles Zugaro within the Warren County Telecommunications Department. Vote: Unanimous
- 24-0763 A resolution was adopted hiring Ryane Combs as Ongoing Caseworker II, within the Warren County Department of Job and Family Services, Children Services Division. Vote: Unanimous

- 24-0764 A resolution was adopted hiring Alix Bowser as Assessment Investigative Caseworker II, within the Warren County Department of Job and Family Services, Children Services Division. Vote: Unanimous
- 24-0765 A resolution was adopted hiring Bryan Stanifer as an Infrastructure Systems Technician I within the Telecommunications Department. Vote: Unanimous
- 24-0766 A resolution was adopted hiring Joshua Webb as an Infrastructure Systems Technician I within the Telecommunications Department. Vote: Unanimous
- 24-0767 A resolution was adopted accepting resignation of Brittany Creager, Emergency Communications Operator, within the Warren County Department of Emergency Services, effective June 25, 2024. Vote: Unanimous
- 24-0768 A resolution was adopted accepting the resignation, due to retirement, of Gary Hubbs, Chief Building Official, within the Warren County Building and Zoning Department, effective August 30, 2024. Vote: Unanimous
- 24-0769 A resolution was adopted authorizing posting of Notice of Intent to Request Release of Funds relative to the Fiscal Year 2024 Community Development Block Grant Project. Vote: Unanimous
- 24-0770 A resolution was adopted awarding the bid for the 2024 Water Treatment Chemicals Project to Water Solutions Unlimited, Brenntag Mid-South Inc., and Chemicals Inc, USA. Vote: Unanimous
- 24-0771 A resolution was adopted reducing the load limit on Bridge #53-4.88 on Pekin Road from the current load limit. Vote: Unanimous
- 24-0772 A resolution was adopted reducing the load limit on Bridge #126-1.53 on Red Lion- Five Points Road from the current load limit. Vote: Unanimous
- 24-0773 A resolution was adopted reducing the load limit on Bridge #200-1.61 on Roachester-Osceola Road from the current load limit. Vote: Unanimous
- 24-0774 A resolution was adopted approving emergency repair to the HVAC unit located at the Richard A. Renneker Water Treatment Plant Lab Building.
Vote: Unanimous
- 24-0775 A resolution was adopted approving agreement and addendum with Reflections Group Home LLC relative to home placement and related services on behalf of Warren County Children Services. Vote: Unanimous
- 24-0776 A resolution was adopted approving agreement and addendum with Legacy Residential Homes Inc. relative to home placement and related services on behalf of Warren County Children Services. Vote: Unanimous

- 24-0777 A resolution was adopted approving addenda to agreement with Reflections Group Home LLC relative to home placement and related services on behalf of Warren County Children Services. Vote: Unanimous
- 24-0778 A resolution was adopted approving addenda to agreement with Skyfall Residential Homes, LLC relative to home placement and related services on behalf of Warren County Children Services. Vote: Unanimous
- 24-0779 A resolution was adopted approving agreements and addendums with various providers relative to home placement and related services on behalf of Warren County Children Services. Vote: Unanimous
- 24-0780 A resolution was adopted entering into a Classroom Training Agreement on behalf of OhioMeansJobs Warren County. Vote: Unanimous
- 24-0781 A resolution was adopted authorizing the Warren County Prosecutor's Office to submit a Grant Application for Victims Assistance Funds. Vote: Unanimous
- 24-0782 A resolution was adopted entering into a Purchase Agreement with Jack Doheny Company on behalf of Warren County Water and Sewer for the Purchase of Components necessary to build an Inspection/Camera Truck, including the Chassis, Inspection Box, Computer System, and Retrofitting of the existing IBAK System. Vote: Unanimous
- 24-0783 A resolution was adopted acknowledging payment of bills. Vote: Unanimous
- 24-0784 A resolution was adopted approving a Subdivision Public Improvement Performance and Maintenance Security Bond Reduction with Parkway Investment Partners, LLC for the completion of Water and Sewer Improvements in the District at Deerfield, Phase 3 situated in Deerfield Township. Vote: Unanimous
- 24-0785 A resolution was adopted accepting an amended certificate, approving a cash advance and a supplemental appropriation for the Township Line Road Bridge Replacement Project Fund 4461. Vote: Unanimous
- 24-0786 A resolution was adopted approving an operational transfer from Commissioners Fund #11011112 into Human Services Fund #2203. Vote: Unanimous
- 24-0787 A resolution was adopted approving an operational transfer from Commissioners Fund #11011112 into Child Support Enforcement Agency Fund #2263. Vote: Unanimous
- 24-0788 A resolution was adopted approving operational transfer of interest earnings from Commissioners Fund #11011112 into Water Funds #5510 & #5583, and Sewer Funds #5580, & #5575. Vote: Unanimous

- 24-0789 A resolution was adopted approving appropriation adjustments within Clerk of Courts Funds #11011260 & #11011282 and Certificate of Title Administration Fund #2250. Vote: Unanimous
- 24-0790 A resolution was adopted approve appropriation adjustments within Board of Elections Fund #11011300. Vote: Unanimous
- 24-0791 A resolution was adopted approving appropriation adjustments within Building and Zoning Department Fund #11012300. Vote: Unanimous
- 24-0792 A resolution was adopted approving appropriation adjustments within Child Support Enforcement Agency Fund #2263. Vote: Unanimous
- 24-0793 A resolution was adopted approving an appropriation adjustment within Mary Haven Fund #2270. Vote: Unanimous
- 24-0794 A resolution was adopted approving an appropriation adjustment within Telecommunications Department Fund #11012810. Vote: Unanimous
- 24-0795 A resolution was adopted approving requisitions and authorizing County Administrator to sign documents relative thereto. Vote: Unanimous
- 24-0796 A resolution was adopted approving the Site Plan Review Application of Justin DeMint/ DC Engineering and Consulting, LLC in Harlan Township. Vote: Unanimous

DISCUSSIONS

On motion, upon unanimous call of the roll, the Board accepted and approved the consent agenda.

Matt Nolan, Warren County Auditor, was present to discuss the Warren County Property Tax Re-Evaluation. He presented the attached PowerPoint presentation outlining the method of re-evaluation, the types of tax, impact on levies and taxpayers, and the timing and process of re-evaluation.

There was discussion relative to the average amount of tax increase, millage, and Board of Revision complaints.

There was discussion relative to the possibility of a slight tax “roll back” to support residents of Warren County as the result of the county being in a great financial state.

ADMINISTRATIVE HEARING
TO CONSIDER SITE PLAN REVIEW APPLICATION OF JUSTIN DEMINT/ DC
ENGINEERING AND CONSULTING, LLC IN HARLAN TOWNSHIP

The Board met on this 18th day of June 2024 in the Commissioners' Meeting Room for the continuation of the administrative hearing to consider the site plan review application filed by Justin DeMint/ DC Engineering and Consulting, LLC on behalf of Eric White, owner of record for the construction of additional self-storage units (Parcel 18314000190) in Harlan Township.

Commissioner Young requested Krystal Powell, Clerk of Commissioners, identify for the record when the site was posted with signage stating the site would be subject to a public process, how and when the written notice of this hearing was sent to the Applicant and all owners of property within 500 feet from the parcel lines of the site subject, and how and when the administrative hearing was advertised.

Ray Dratt, Chief Zoning Inspector, presented the attached PowerPoint presentation stating the property details, current zoning, existing land use, and proposed land use. He stated the zoning request was originally approved for the property in 2022 but the site plan review process was overlooked as a result of an oversight by the Building and Zoning Department. Mr. Dratt affirmed today's hearing was simply a formality to approve the site plan for use of the aforementioned property which is in compliance with the current zoning.

Upon further discussion, the Board resolved (Resolution #24-0796) approving the site plan review application of Justin DeMint/ DC Engineering and Consulting, LLC in Harlan Township .

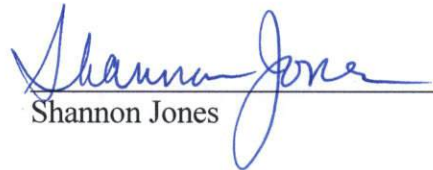
Upon motion the meeting was adjourned.



David G. Young, President




Tom Grossmann



Shannon Jones

I hereby certify that the foregoing is a true and correct copy of the minutes of the meeting of the Board of County Commissioners held on June 18, 2024, in compliance with Section 121.22 O.R.C.



Krystal Powell, Clerk
Board of County Commissioners
Warren County, Ohio

Warren County Property Tax Re-Evaluation

Matt Nolan

Warren County Auditor



How is Value Determined? Mass Appraisal

State Mandated Mass Revaluations & Triennials

Every 6 years we reappraise every parcel on its own merits, all 110,000 of them!

In between reappraisals, we have Triennial Updates

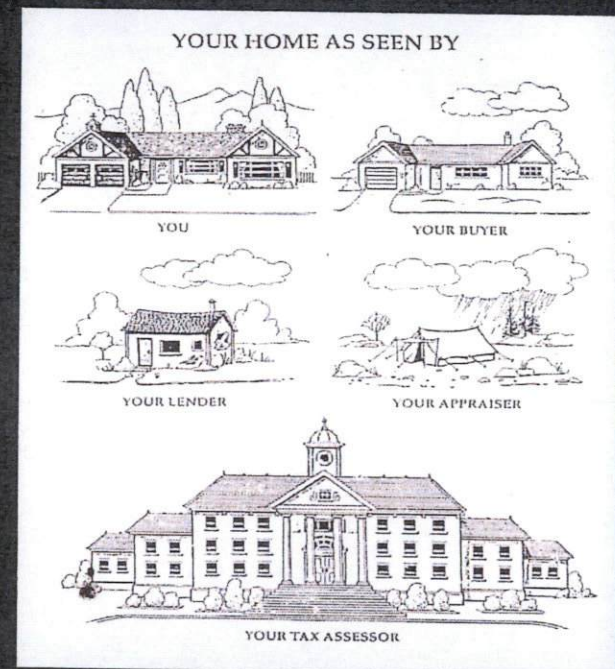
On the 3rd year post re-appraisal we update values based on the sales data.

The State Department of Taxation mandates a % change for the entire county based on sales occurring since the last update.

The Auditor's role is not to tax, but to follow the market and assign property values based on local market activity.

How do we Value 110,000 parcels?

- Sales – sales – sales.
- We look at every sale that has occurred in your neighborhood or area.
- Compare those to values of the parcel before it sold.
- If houses are selling at 100,000 and are all valued at 80,000, we raise all similar properties 10-15,000 to be at 90-95,000.
- Mostly a math equation – we don't know who has nicest home we have to make assumptions based on sales and listings.



Summary of Types of Tax

Levy Type	Description	Impact of Value Change
Inside – Unvoted	<ul style="list-style-type: none"> • 10 mill limit • shared among political subdivisions 	<ul style="list-style-type: none"> • Moves in direct proportion to value change • Value up 30% taxes up 30%
Voted Fixed Sum Levies – Voted	<ul style="list-style-type: none"> • Bond & Emergency levies • Rate set to produce a specific dollar amount 	<ul style="list-style-type: none"> • As values increase rate decreases resulting in no impact on revenue
Fixed Rate Levies – Voted	<ul style="list-style-type: none"> • Specific rate approved by the voters • Rate is adjusted for reappraisal changes 	<ul style="list-style-type: none"> • As value increases due to reappraisal; rate is reduced resulting in no tax impact • Value increases due to new construction taxes increase
Substitute/ Incremental Levy	<ul style="list-style-type: none"> • Guaranteed revenue from previous year • Allows for growth from non-reappraisal changes 	<ul style="list-style-type: none"> • Values increase due to non-reappraisal changes revenue increases • Values decrease regardless of why rate set to generate same revenue as previous year

Value Change Impact on Levies

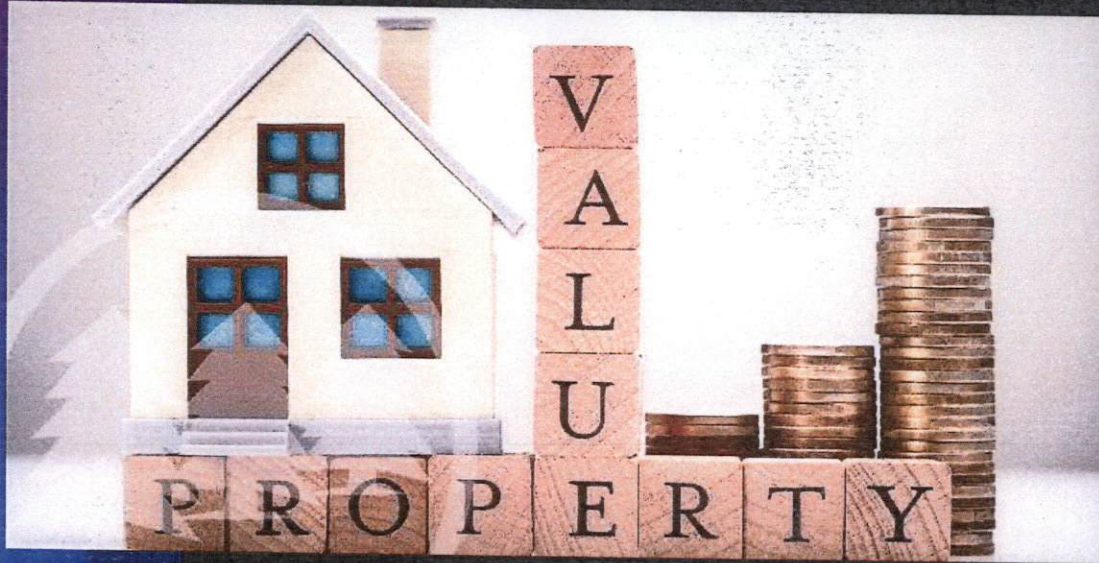
- Fire/Police/DD/Senior Service/Library all get “ZERO” new dollars.
- New money ONLY comes from New construction.
- Inside millage (School/County/Township) get new money from re-evaluation.
- Biggest factor is school millage(usually).

20 Mill Floor

- Main reason your TAXES are going up so much.
- Pre 2024
 - Values go up – most rates come down
- 2024 (and Going Forward)
 - Values go up – only half the rates go down

Impact on Taxpayer

- For Average Taxpayer(Except Mason)
 - Tax increase will be about $\frac{1}{2}$ of their value increase
 - 30% value increase = 15% tax increase
- 300,000 Home in Springboro – that would be a \$750 a year tax increase
- In Mason and Kings the impact is much smaller(from the reappraisal).



- 27% increase in tentative values
- Average 15% tax increase everywhere except Mason (Mason less)
- Values sent out in early Fall

SPRINGBORO

Fund	Current Millage	Current Value	Current Due	Est. Millage	Est. Value	Est. taxes due
County GF	2.57	100000 \$	89.95	2.57	125000 \$	112.44
DD	2.430092	100000 \$	85.05	1.9440736	125000 \$	85.05
Senior	0.818004	100000 \$	28.63	0.080164392	125000 \$	28.63
Mental Health	0.586398	100000 \$	20.52	0.4691184	125000 \$	20.52
Health District	0.338104	100000 \$	11.83	0.2704832	125000 \$	11.83
School GF	20	100000 \$	700.00	20	125000 \$	875.00
Bond	3	100000 \$	105.00	3	125000 \$	131.25
Substitute	5.39	100000 \$	188.65	4.312	125000 \$	188.65
PI	1.650988	100000 \$	57.78	1.3207904	125000 \$	57.78
Career Center	2	100000 \$	70.00	2	125000 \$	87.50
Springboro City	1.11	100000 \$	38.85	1.11	125000 \$	48.56
Clearcreek GF	1.01	100000 \$	35.35	1.1	125000 \$	48.13
Fire/EMS	6.317002	100000 \$	221.10	5.0536016	125000 \$	221.10
Library	0.676785	100000 \$	23.69	0.541428	125000 \$	23.69
			\$ 1,508.77			\$ 1,746.12
						\$ 237.35

16% Increase
 9% County
 76% School
 7% WCCS
 8% City/Twp

Mason

Fund	Current Millage	Current Value	Current Due	Est. Millage	Est. Value	Est. taxes due
County GF	2.57	100000 \$	89.95	2.57	125000 \$	112.44
DD	2.430092	100000 \$	85.05	1.9440736	125000 \$	85.05
Senior	0.818004	100000 \$	28.63	0.080164392	125000 \$	28.63
Mental Health	0.586398	100000 \$	20.52	0.4691184	125000 \$	20.52
Health District	0.338104	100000 \$	11.83	0.2704832	125000 \$	11.83
School Inside	5.11	100000 \$	178.85	5.11	125000 \$	223.56
School Outside	31.682909	100000 \$	1,108.90	25.3463272	125000 \$	1,108.90
Bond	1.06	100000 \$	37.10	1.06	125000 \$	37.10
Great Oaks	2	100000 \$	70.00	2	125000 \$	87.50
Mason City	6.72	100000 \$	235.20	6.72	125000 \$	294.00
Library	0.344902	100000 \$	12.07	0.2759216	125000 \$	12.07
			\$ 1,690.30			\$ 1,819.45
						\$ 129.15

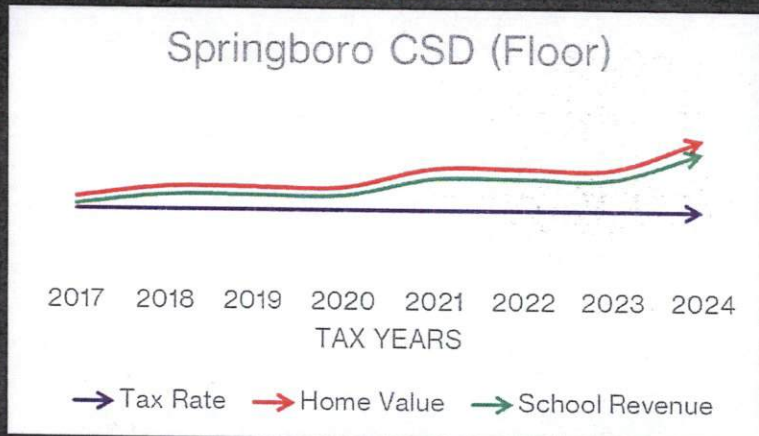
8% Increase

16% County
 31% School
 12% Great Oaks
 41% City/Twp

Floor (Springboro) vs Non-Floor (Mason)

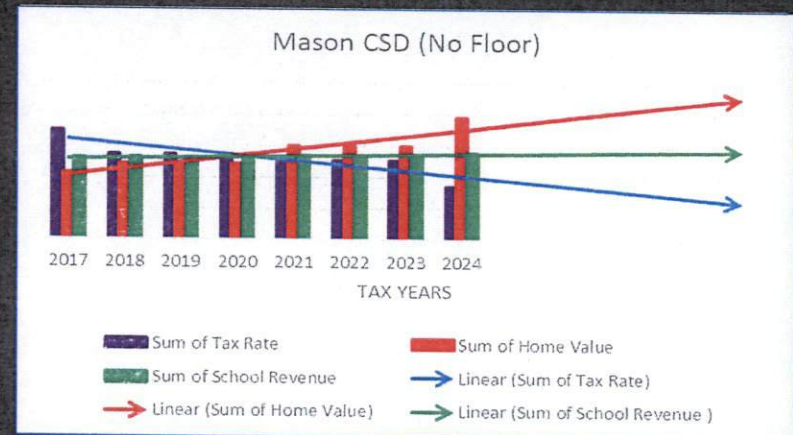
Springboro:

- Residential Operating Rate: 20.00 Mills
- Calculation *prior* to increase (Tax Year 2023):
 - 20.00 Mills
 - \$300,000 Home
 - School Revenue: \$2,100
- Calculation *after* value increase (Tax Year 2024):
 - 20.00 Mills
 - \$390,000 Home
 - School Revenue: \$2,730



Mason:

- Residential Operating Rate: 36.36291 Mills
- Calculation *prior* to increase (Tax Year 2023):
 - 36.36 Mills
 - \$300,000 Home
 - School Revenue: \$3,818
- Calculation *after* value increase (Tax Year 2024):
 - 29.05 Mills
 - \$390,000 Home
 - School Revenue: \$3,965



KINGS

Fund	Current Millage	Current Value	Current Due	Est. Millage	Est. value	Est. taxes due
County GF	2.57	100000 \$	89.95	2.57	125000 \$	112.44
DD	2.430092	100000 \$	85.05	1.9440736	125000 \$	85.05
Senior	0.818004	100000 \$	28.63	0.080164392	125000 \$	28.63
Mental Health	0.586398	100000 \$	20.52	0.4691184	125000 \$	20.52
Health District	0.338104	100000 \$	11.83	0.2704832	125000 \$	11.83
School Inside	5.13	100000 \$	179.55	5.13	125000 \$	224.44
School Outside	35.6	100000 \$	1,246.00	28.48	125000 \$	1,246.00
Bond	3.5	100000 \$	122.50	2.8	125000 \$	122.50
Career Center	2	100000 \$	70.00	2	125000 \$	87.50
Deerfield G/F	0.86	100000 \$	30.10	0.86	125000 \$	37.63
Deerfield R/B	1.44	100000 \$	50.40	0.86	125000 \$	37.63
Fire/EMS	4.634261	100000 \$	162.20	3.7074088	125000 \$	162.20
Police	2.726036	100000 \$	95.41	2.1808288	125000 \$	95.41
Parks & Recreation	0.994608	100000 \$	34.81	0.7956864	125000 \$	34.81
Library	0.344902	100000 \$	12.07	0.2759216	125000 \$	12.07
			\$ 2,015.13			\$ 2,086.79
						\$ 71.66

4% Increase
 24% County
 49% School
 19% WCCS
 9% City/Twp

New Levy

Levy Agency	Additional Taxes Per \$100,000 Value
Kings Local Schools	209
Inside Millage(from reval)	71
Total additional tax on \$100,000 home.	\$280

CAUV Impact

- Expect value increase nearing 100%
- This means a massive increase in taxes on farmland
- For most still well below the 50% of market that it started at.



CAUV EXAMPLE

100 Acre Farm in Eastern Warren County (This example is Washington Township)

Market Value – we have at \$600,000

Market Value – will move to \$800,000

CAUV value today - \$150,000

CAUV Value next year - \$300,000

Market Taxes today - \$7,148 annually

CAUV Taxes today - \$1,787 annually

\$5361 savings

Market taxes next year - \$ 9,907

CAUV Taxes next year - \$ 3,715

\$6,192 savings

Taxes almost doubled – but still a very large savings.



What about Commercial Property?

- Historically we have not increased many values on commercial property to help local businesses and encourage growth.
- There will be increases on most commercial properties this cycle.
 - Hotels, traditional office buildings are exceptions.
- Too much disparity between new construction and preexisting buildings to not raise values to make these more equitable.
- Very little tax increase because few districts are at Commercial Floor(yet).
 - Different rates for residential/commercial properties. Most commercial rates are higher because values have not been raised as much.

Timing and Process

- Values must be approved by the State this summer.
- Change of Value Notices sent to every parcel in early Fall.
- Opportunity for everyone to informally discuss value with one of our appraisers either in person or over the phone/zoom.
 - We will have both during day and evening options to allow anyone who has questions to set up an appointment.
- Final Values must be certified to State in late Fall.
- Rates are sent on or about January 1 to determine exact taxes for next year.

What if I Disagree with Value

- Informal review for month after Value Change Notice.
- Formal BOR complaint can be filed before March 31, 2025 – hard deadline.
- Key is Showing why YOUR value is too High.
 - Most show why their neighbor's value is too low. Not bad information for us, and we should try to equalize, but it will be by raising neighbor not lowering yours.
 - In mass appraisal, some are going to be at 85% some are going to be at 95% that is how system is set up – key is for no one to be over 100%.

CASE # 101-2024

Site Plan Review- Justin Demint/ DC Engineering and Consulting, LLC & Eric White; A1 Storage

APPLICANT

Justin Demint, DC Engineering and Consulting, LLC

OWNER

Eric White; A1 Storage

TOWNSHIP

Harlan

PROPERTY LOCATION

ADDRESS

**6846 Route 28
Pleasant Plain, Ohio 45162**

PIN

18-31-400-019

PROPERTY SIZE

3.267 in Warren County, an additional 4.753 in Clermont County for a total of 8.02 acres.

CURRENT ZONING DISTRICT	"B2" Community Commercial Business Zone
FUTURE LAND USE MAP (FLUM) DESIGNATION	Agricultural
EXISTING LAND USE	Self/Individual Storage Units
ISSUE FOR CONSIDERATION:	Approval for the Storage Units on the site.

Review Process

101-2024

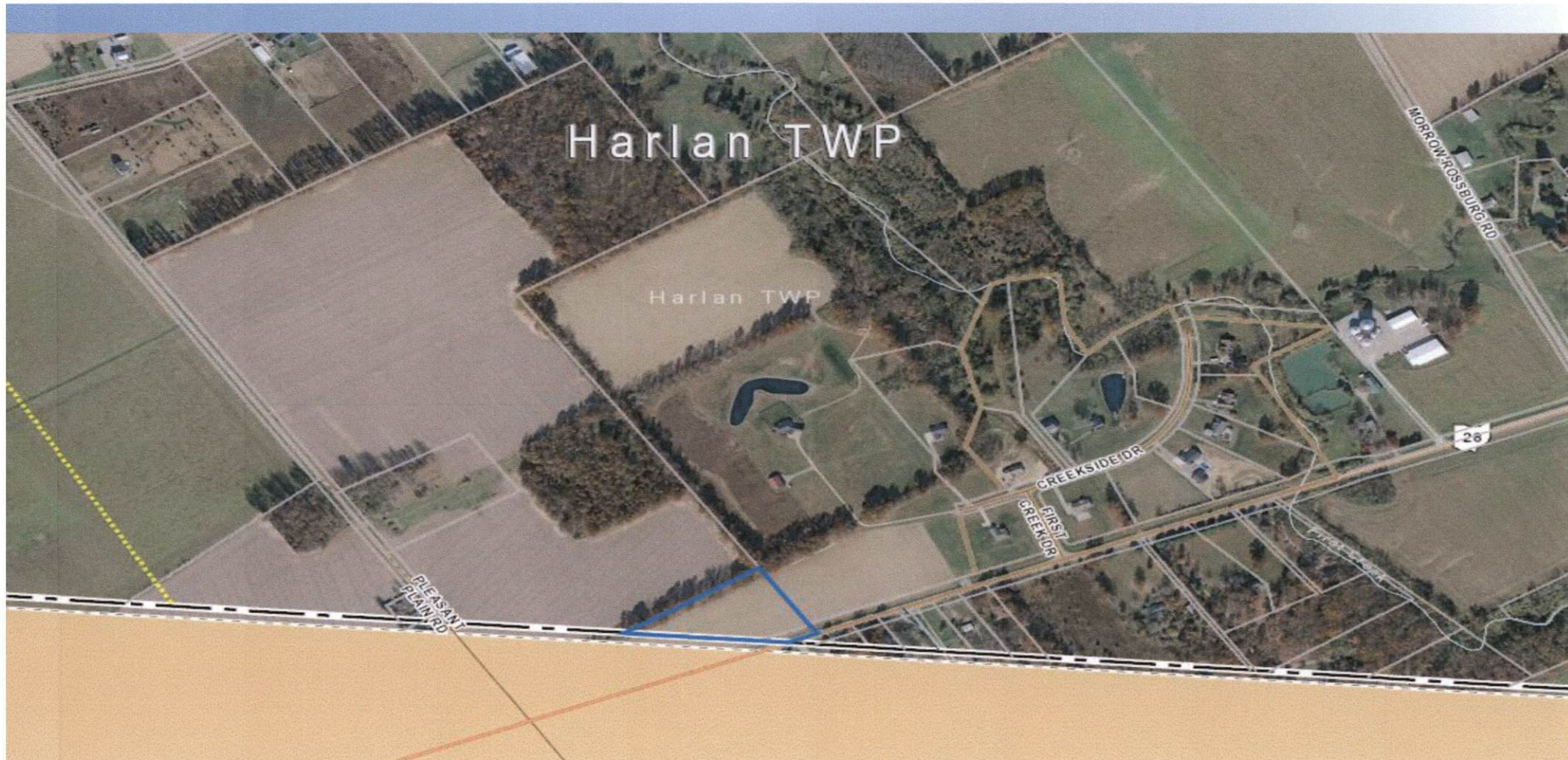
Site Plan Approval

Board of County Commissioners

June 4, 2024

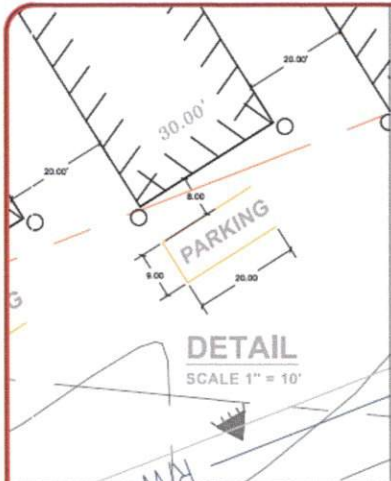
Aerial Map

101-2024



Provided Site Plan

101-2024



Symbol	Plant Name	Quantity	Notes
●	YUCCA	17	1' x 1' x 1'
●	TOP SOIL	17	1' x 1' x 1'
●	BRANDON TREE	12	1' x 1' x 1'
●	YUCCA	12	1' x 1' x 1'
●	TOP SOIL	12	1' x 1' x 1'
●	BRANDON TREE	12	1' x 1' x 1'
●	YUCCA	12	1' x 1' x 1'
●	TOP SOIL	12	1' x 1' x 1'
●	BRANDON TREE	12	1' x 1' x 1'

SITE PLAN
SCALE 1" = 30'

PAUL J. & JENNIFER A. ABNEY
O.R. 5169 PG. 809
53.999 ACRES
PARCEL NO. 14254000250



PROJECT FILE NAME:
EWSTORAGEGOSH21

DRAWN BY:
J.D.

DATE:
4-13-2024

SCALE:
AS NOTED

A-SPACE STORAGE LTD
U.S. ROUTE 28
PLEASANT PLAIN, OHIO 45162

NO.	DATE	REVISION
1		

SITE PLAN

LEONARD SMITH
O.R. 2634 PG. 2107
2.790 ACRES
PARCEL NO. 114321.009

HANDY L. & TERESA L. FORBES
O.R. 2820 PG. 275
2.750 ACRES
PARCEL NO. 114321.008

ROBERT K. & BEVERLY A. YOUNG
O.R. 727 PG. 217

Provided Tree Survey

101-2024

#	TREE TYPE	DISTANCE FROM PROPERTY LINE	WIDTH IN TREE	#	TREE TYPE	DISTANCE FROM PROPERTY LINE	WIDTH IN TREE
1	HICKORY	BEHIND F SOUTH PROPERTY LINE	20" IN WIDTH	13	MAPLE	BEHIND F SOUTH PROPERTY LINE	11" IN WIDTH
2	MAPLE	BEHIND F SOUTH PROPERTY LINE	9" IN WIDTH	14	MAPLE	BEHIND F SOUTH PROPERTY LINE	9" IN WIDTH
3	DAK	BEHIND F SOUTH PROPERTY LINE	40" IN WIDTH	15	MAPLE	BEHIND F SOUTH PROPERTY LINE	10" IN WIDTH
4	DAK	BEHIND F SOUTH PROPERTY LINE	14" IN WIDTH	16	MAPLE	BEHIND F SOUTH PROPERTY LINE	9" IN WIDTH
5	DAK	BEHIND F SOUTH PROPERTY LINE	10" IN WIDTH	17	DAK	BEHIND F SOUTH PROPERTY LINE	18" IN WIDTH
6	MAPLE	BEHIND F SOUTH PROPERTY LINE	10" IN WIDTH	18	MAPLE	BEHIND F SOUTH PROPERTY LINE	20" IN WIDTH
7	MAPLE	BEHIND F SOUTH PROPERTY LINE	12" IN WIDTH	19	DAK	BEHIND F SOUTH PROPERTY LINE	40" IN WIDTH
8	SLK	BEHIND F SOUTH PROPERTY LINE	4" IN WIDTH	20	MAPLE	BEHIND F SOUTH PROPERTY LINE	14" IN WIDTH
9	DAK	BEHIND F SOUTH PROPERTY LINE	18" IN WIDTH	21	DAK	BEHIND F SOUTH PROPERTY LINE	20" IN WIDTH
10	DAK	BEHIND F SOUTH PROPERTY LINE	14" IN WIDTH	22	MAPLE	BEHIND F SOUTH PROPERTY LINE	12" IN WIDTH
11	DAK	BEHIND F SOUTH PROPERTY LINE	7" IN WIDTH				
12	DAK	BEHIND F SOUTH PROPERTY LINE	20" IN WIDTH				

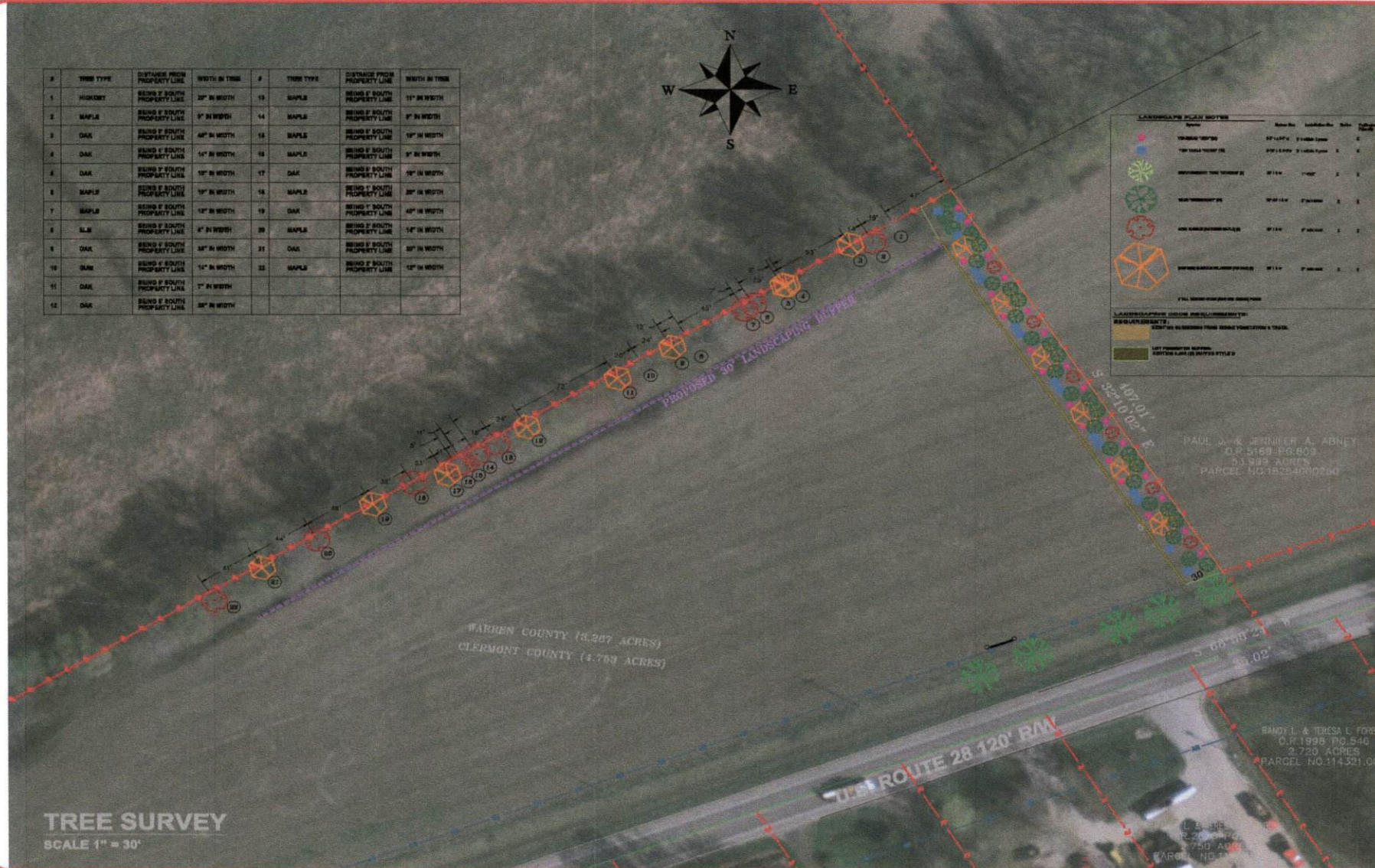


LANDSCAPE PLAN NOTES

- YOUNG TREES: 8" TALL, 1" CALIBER, 10' TALL, 1" CALIBER
- REPLACEMENT TREES: 8" TALL, 1" CALIBER
- NEW TREES: 8" TALL, 1" CALIBER
- EXISTING TREES TO BE MAINTAINED: 8" TALL, 1" CALIBER
- EXISTING TREES TO BE REMOVED: 8" TALL, 1" CALIBER

LANDSCAPE PLAN LEGEND

- REPLACEMENT TREES: 8" TALL, 1" CALIBER
- NEW TREES: 8" TALL, 1" CALIBER
- EXISTING TREES TO BE MAINTAINED: 8" TALL, 1" CALIBER
- EXISTING TREES TO BE REMOVED: 8" TALL, 1" CALIBER



PROJECT FILE NAME:
EWSTORAGEGOSH21

DRAWN BY:
J.D.

DATE:
4-13-2024

SCALE:
AS NOTED

A-SPACE STORAGE LTD
U.S. ROUTE 28
PLEASANT PLAIN, OHIO 45162

REV	DATE	REVISION

PAUL J. & JENNIFER A. ABNEY
O.R. 5189 - PG. 803
53,989 ACRES
PARCEL NO. 18254000750

TREE SURVEY

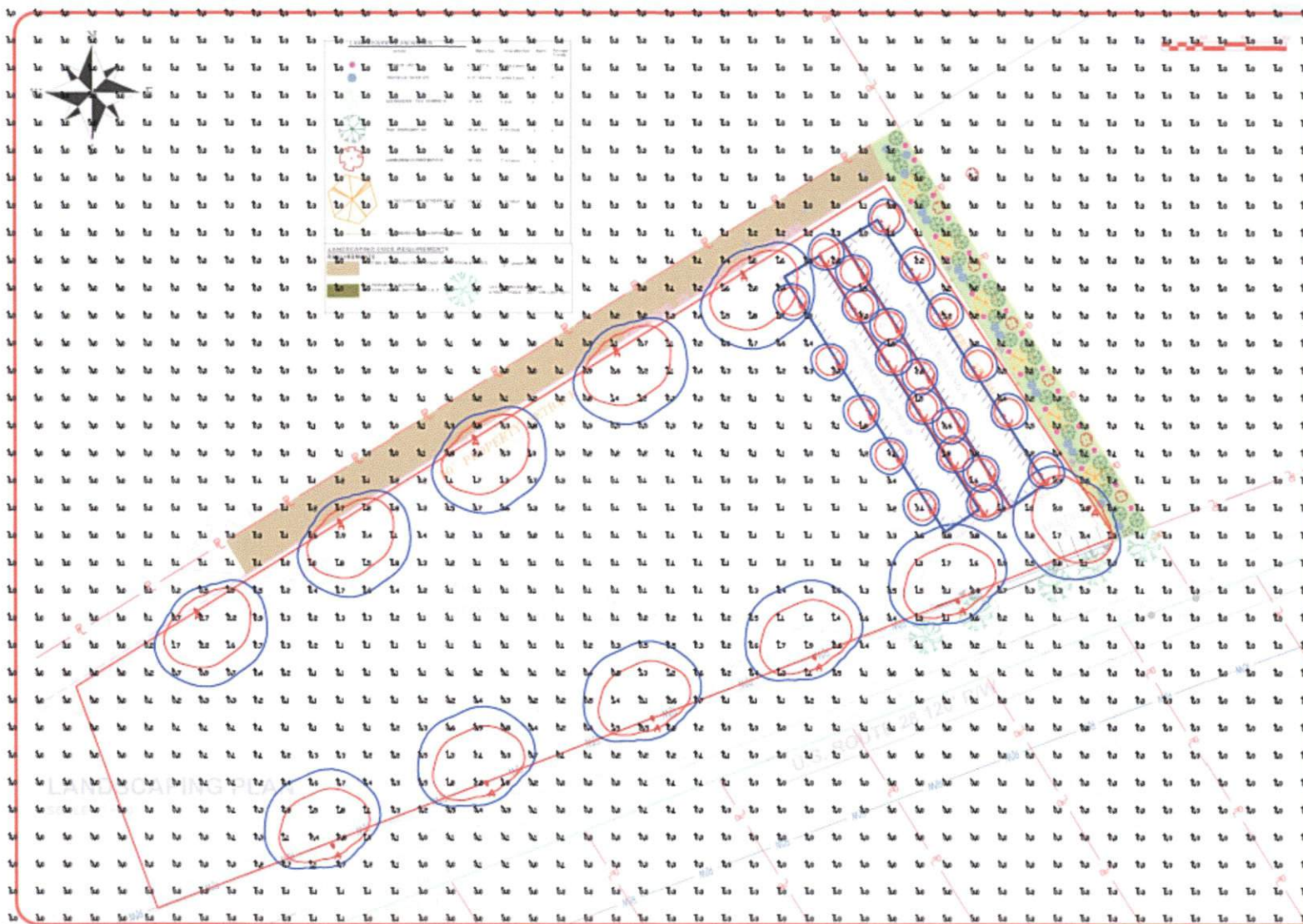
TREE SURVEY
SCALE 1" = 30'

BANDY L. & TERESA C. FORBES
O.R. 1998 - PG. 546
2,720 ACRES
PARCEL NO. 114321.001

L. A. BEE
R-250 PG. 1
8,750 ACRES
PARCEL NO. 114321.001

Lighting Plan

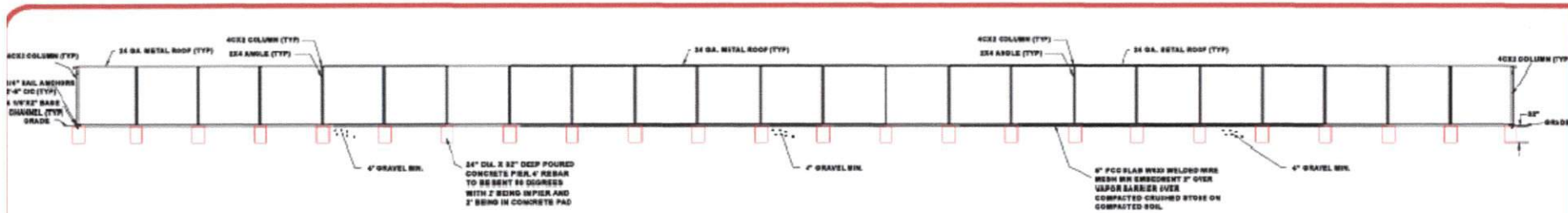
101-2024



Pole height shown at 20 ft. and 2.0 ft candles at the property line.

Building (A) Height/Elevation – 9' 2"

101-2024



SECTION A 1
SCALE: 1/2"=1'-0"

INSTALLATION NOTES:

FIELD CUTTING OF STRUCTURAL SHEETING AND TRIMS FOR SPICE AND FINAL FITTING OF COMPONENTS IS REQUIRED.

ALL ROOF PANEL LAPS SHALL BE SEALED WITH 3/8" (MINIMUM) WIDTH MASTIC TAPE AS PROVIDED FOR PROJECT. ALL SHEET PROFILE FOAM CLOSURES AT GUT, WALL AND RIDGE CONDITIONS AS PROVIDED FOR PROJECT MUST BE INSTALLED AS SHOWN HEREIN.

WALL PANELS AND WALL TRIMS, AT INTERIOR AND EXTERIOR, ARE TO BE SET WITH 1/4" CLEARANCE ABOVE CONCRETE SURFACES AND AT ANY LOCATIONS WHICH MAY BE SUBJECTED TO CONTACT WITH STANDING WATER.

LAP ALL FLASHINGS 2" MINIMUM AND SEA AS REQUIRED FOR WATER TIGHTNESS.

ALLOW 1/4" TOLERANCE AT EACH END FOR PURLINE HEADERS AND GUTS.

JOBSITE / FIELD CONDITIONS NOTES:

ALL CONCRETE AND MASONRY CONSTRUCTION MUST BE FLAT, LEVEL AND SQUARE FOR THE SLAB PLAN DIMENSIONS HEREIN.

ALL JOBSITE DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BEFORE ERECTION OF BUILDING STRUCTURE.

ALL OMISSIONS, CONFLICTS AND DISCREPANCIES SHALL BE REPORTED TO THE BUILDING MANUFACTURER BEFORE PROCEEDING WITH PROJECT WORK.

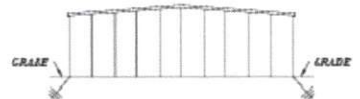
ALL TEMPORARY SUPPORTS SUCH AS GUPS, BRACED, FALSEWORK, CRIBBING, WINBRACEDS OR OTHER ELEMENTS REQUIRED FOR THE BUILDING (ERECTOR) ARE TO BE DETERMINED BY AND SUPPLIED BY BUILDER/CONTRACTOR.

BUILDING MANUFACTURER HAS MADE A COMMITMENT TO MANUFACTURE QUALITY BUILDING COMPONENTS THAT CAN BE SAFELY ERECTED. JOB SITE SAFETY INSTRUCTION, SAFETY EQUIPMENT AND CONDITIONS ARE THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR.

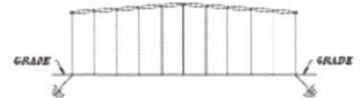
ALL COMPONENTS SHIPPED SHALL BE THOROUGHLY INSPECTED AND ACCOUNTED FOR AT THE TIME OF DELIVERY. ALL MATERIAL SHORTAGES OR DEFECTS MUST BE REPORTED WITHIN THE (3) WORKING DAYS OF MATERIAL DELIVERY TO THE BUILDING MANUFACTURER.

DIAPHRAGM ACTION OF THE METAL PANELS AT INTERIOR PARTITION WALLS IS UTILIZED FOR THE STABILITY OF THIS BUILDING. ANY MODIFICATION OR UNAUTHORIZED CUTTING OF INTERIOR PARTITION PANELS IS EXPRESSLY PROHIBITED BY THE BUILDING MANUFACTURER.

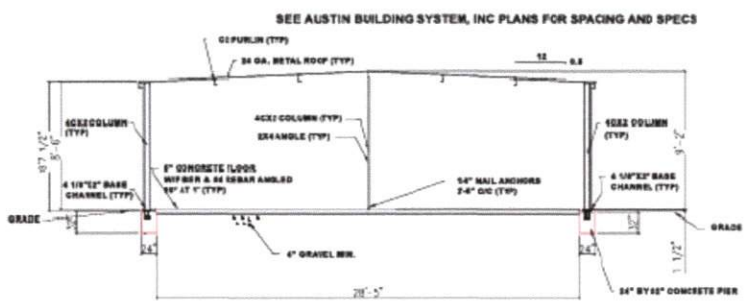
PARTITION PANELS HAVE BEEN SUPPLIED TO REACH ROOF LINE. THE TOP PARTITION PANEL CAN BE NOTICED TO MATCH ROOF LINE AND CLEAR PURLINE LEG TO CLOSE IN THE UNIT AS DESIRED.



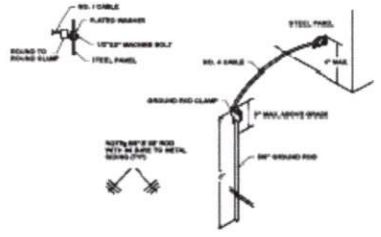
NORTH ELEVATION BUILDING A
SCALE: 1/8"=1'-0"



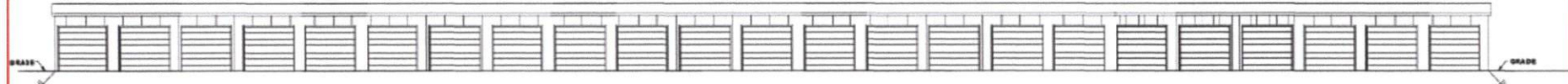
SOUTH ELEVATION BUILDING A
SCALE: 1/8"=1'-0"



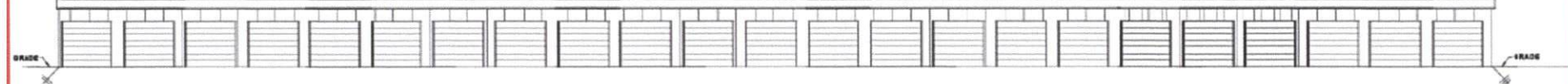
SECTION A 2
SCALE: 1/2"=1'-0"



GROUNDING DETAIL
N.T.S.



WEST ELEVATION BUILDING A
SCALE: 1/8"=1'-0"



EAST ELEVATION BUILDING A
SCALE: 1/8"=1'-0"



PROJECT FILE NAME:
EWSTORAGESTR2822

DRAWN BY:
J.R.

DATE:
4/11/2022

SCALE:
AS NOTED

A-SPACE STORAGE LTD
U.S. ROUTE 28
PLEASANT PLAIN, OHIO 45162

DATE: 1 REV: 1



SHEET A-2

Staff Summary

101-2024

Parking- 5 spaces are shown on the application but since the business has no employees, none are required.

Landscaping- On the eastside, the required 50 ft buffer is shown. The northside has existing large, mature trees; 1 evergreen per 20 feet should be added to any gap in spaces and continued onto the Goshen Township side for consistency. 1 street tree per 40 feet are also required along the roadway.

Lighting- meets the requirements of the code.

Signage- a 4 X 8 sign attached near the eave a building is all that is proposed on the Warren County side of the site.

Reviewing Departments

101-2024

- Warren County Deputy Administrator
- Warren County Engineer
- Warren County Water and Sewer Department
- Warren County Soil and Water Conservation
- Warren County Regional Planning Commission
- Harlan Township Fire Department
- Harlan Township Trustees
- Warren County Combined Health District
- Warren County Building Department
- Warren County Sheriff

RPC Department Comments

101-2024

Approve the site plan application subject to the following conditions:

1. Compliance with the standards of the Warren County Rural Zoning Code; Section 1.303.3.
2. Prior to zoning permit approval, the applicant shall provide additional details on the site plan providing the following:
 - a. The width of drive lanes.
 - b. Parking location and dimensions of each parking space and ensure that the site plan illustrates the required number of parking spaces as determined in the WCRZC Table 3.307-1 (1 parking space per 80 storage units). The parking locations shall be illustrated and constructed 15 feet from the street right-of-way line, in conformance with the WCRZC Section 3.308.
 - c. Proposed landscaping and location (as applicable). The applicant shall identify the necessary buffer type along the eastern and northern property lines. Pavement is not permitted within the buffer area.
 - d. All structures that are to be constructed shall be illustrated on the plan, including structures where a portions are to be constructed within Clermont County.
 - e. Location and dimensions of the existing easements.
 - f. Location of the septic system.
 - g. A diagram that shows the height dimensions of the building; measured as illustrated in the Warren County Rural Zoning Code.

Prior to zoning permit approval, the applicant shall provide updated photometric study providing the following:

- a. A legend.
 - b. Light fixtures shall be placed on the property and be oriented towards the facility.
 - c. The cut-off for light fixtures and illustrating the total foot-candle illuminating off of the property is in accordance with the WCRZC Section 3.506.
 - d. All existing, proposed and future structures, including structures where a portions are to be constructed within Clermont County.
4. The applicant shall comply with the requirements of the Warren County Rural Zoning Code for the landscape buffer, Section 3.405(B) except as amended by the Board of County Commissioners.
5. The applicant shall provide information about the equipment that will be sheltered in the storage building and confirm that no toxic or hazardous substances will be stored in the building.
6. A signage permit shall be filled at the time of installation of the sign.
7. Prior to Zoning Permit approval, the applicant shall receive an access permit approval for the Warren County Engineer's Office for the use (the existing structures, and expansion of new storage facilities).

Department Comments from WC Soil and Water

101-2024

May 9, 2024

Jackie,

I have no comment.

Thank you,

Molly M. Conley

Director

PHONE - (513) 695-3085 EMAIL Molly.Conley@co.warren.oh.us



Warren County Soil and Water Conservation District
320 E. Silver St.
Lebanon, Ohio 45036
PHONE (513) 695-1337
<http://www.warrenswcd.com/>

ANY
QUESTIONS?



Site Plan Review Criteria – Section 1.303.6

The site plan review is conducted to determine anticipated impacts on the public health and safety, as well as the public convenience, comfort, prosperity, or general welfare, as applicable. The factors to be considered and weighed by the Approving Authority include but are not limited to the following, but no single factor controls in making a decision, nor must all of the factors support the decision:

(A) Adequacy of Information and Compliance with Zoning Code

(I) Exterior Lighting

(B) Design Layout Sufficiency and Sensitivity

(J) Signage

(C) Design Character, Operational Compatibility, and Coordination

(K) Public Service Impact

(D) Preservation of Significant Features

(L) Stormwater Drainage Stormwater Management Plan

(E) Pedestrian Access and Circulation

(M) Soil Erosion and Sediment Control

(F) Vehicular Access and Circulation Streets

(N) Emergency Access and Service Facilities and Public Safety

(G) Parking and Loading

(O) Building Design

(H) Landscaping and Screening

(P) Compliance with Public Health and Safety

BACKUP SLIDES

CONDITIONS FROM GOSHEN TWP ON ADJACENT PARCEL FOR SAME PROJECT

- Inside storage only
 - No cell or communication towers
 - Entrance and all drive aisles are to be paved with concrete or asphalt
 - A minimum of 20 feet between each building
 - Owner/tenant to provide 24-hour access to Goshen Township Fire Department, by means of a lockbox
 - Controls to be put in place to minimize retention pond outlet on adjoining property owners
 - Minimum of 8' tall privacy fence to be installed around perimeter of property
 - All buildings to maintain a minimum 50-foot setback distance from all property lines
 - Streetscape Buffer to be provided along South property line
 - 30-foot minimum Boundary Buffer to be provided along East property line
 - Existing buffer along north property line, is not to be disturbed
 - Proposed sign to be of Monument style, with a brick or stone base and landscaping per GTZR
 - Owner to apply and receive permits for all temporary signs
 - Owner is to provide yearly maintenance and cleanout of retention pond
- Item for relief:
- 150 feet minimum between storage building and residential property lines: 5.04(E)(3)(a)
 - Privacy fence in the front yard: 8.02(E)(5)(a) & 8.02(E)(5)(c)

Warren County
Rural Zoning
Commission
Recommendation

Ms. Haddix made a motion to recommend approval to the BOCC, Warren County Commissioners, for the map amendment of parcel #'s 18-31-400-019-0 from "RU" Rural Residential to "B2" Community Commercial Businesses Zone in Harlan Township with the same conditions and requirements that Goshen township required for Mr. White. They are as followed:

1. Inside storage only
2. No cell or communication towers
3. Entrance and all drive aisles are to be paved with concrete or asphalt
4. A minimum of 20 feet between each building
5. Owner/tenant to provide 24-hour access to Goshen Township Fire Department, by means of a lockbox
6. Controls to be put in place to minimize retention pond outlet on adjoining property owners
7. Minimum of 8' tall privacy fence to be installed around perimeter of property
8. All buildings to maintain a minimum 50-foot setback distance from all property lines
9. Streetscape Buffer to be provided along South property line
10. 30-foot minimum Boundary Buffer to be provided along East property line
11. Existing buffer along north property line, is not to be disturbed
12. Proposed sign to be of Monument style, with a brick or stone base and landscaping per GTZR
13. Owner to apply and receive permits for all temporary signs
14. Owner is to provide yearly maintenance and cleanout of retention pond
15. **Item for relief:**
 - 150 feet minimum between storage building and residential property lines: 5.04(E)(3)(a)
 - Privacy fence in the front yard: 8.02(E)(5)(a) & 8.02(E)(5)(c)

Mr. Cesta seconded the motion.

Ginger Haddix	Yes
Ralph Campbell	Yes
Joe Cesta	Yes
Jim Gibbs	Yes