

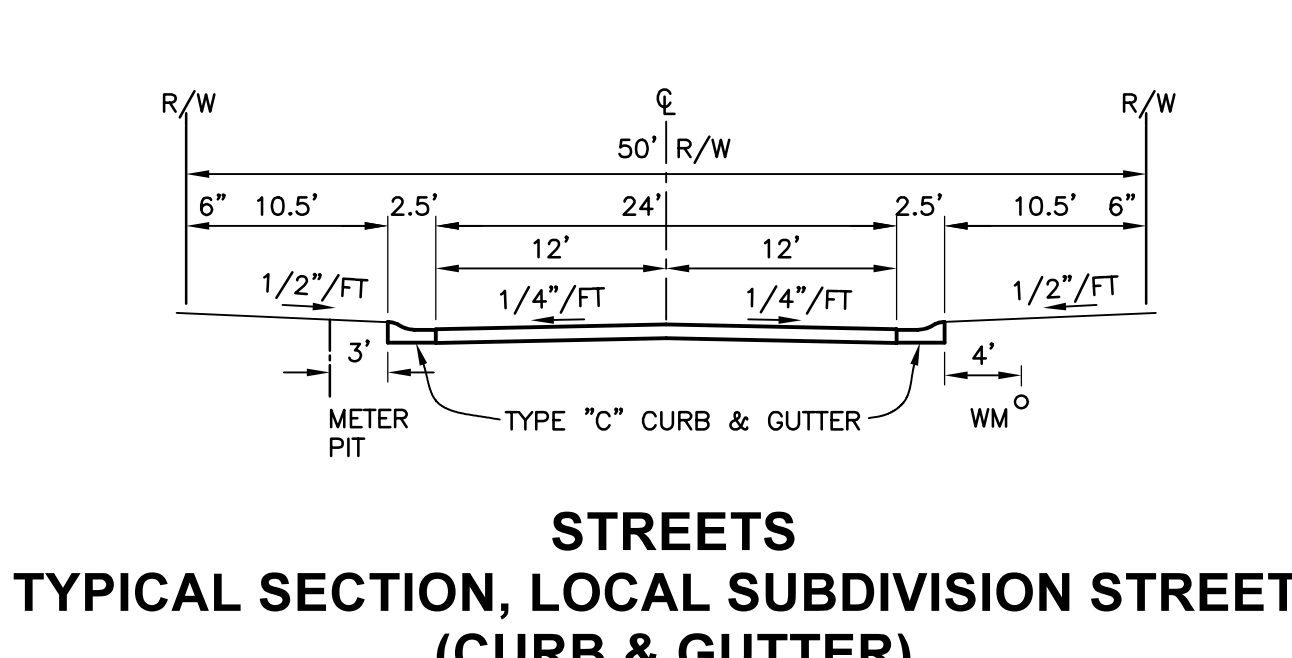
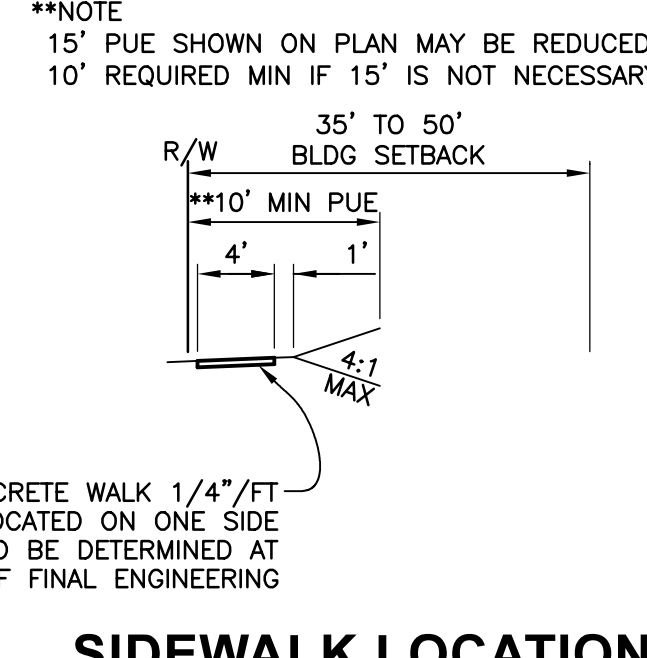
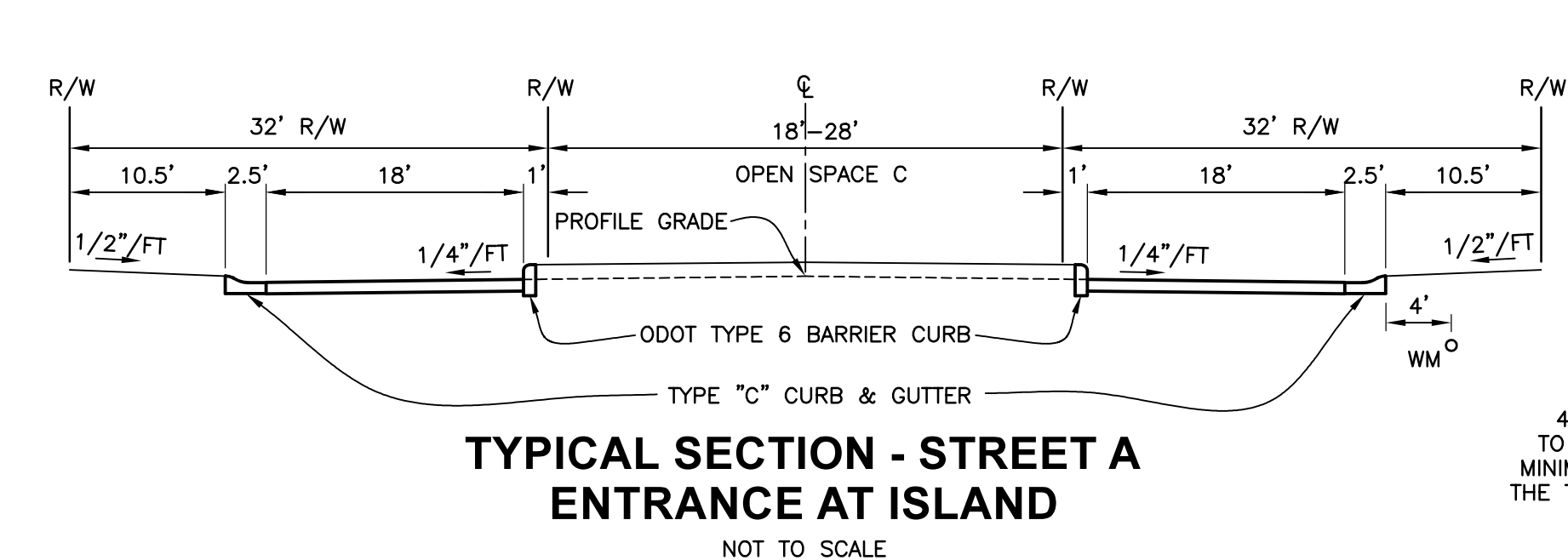
- NOTES**
- BOUNDARY COURSES SHOWN HEREON HAVE BEEN ROTATED TO WARREN COUNTY GIS BEARING SYSTEM AND IS BASED UPON S.R. VOLUME 67, PLAT NO. 74.
 - TOPOGRAPHIC INFORMATION FROM WARREN COUNTY GIS FILES. BENCHMARK: WARREN COUNTY GIS - GPS CONTROL NETWORK - MONUMENT #75 (ELEVATION: 798.949)
 - ZONING: SITE - RURAL RESIDENTIAL R-1 (HAMILTON TOWNSHIP CLUSTER DEVELOPMENT)
 - SINGLE FAMILY DISTRICT.
 - LOTS WILL CONTAIN SINGLE-FAMILY, DETACHED RESIDENCES.
 - MINIMUM BUILDING OPENING ELEVATIONS SHALL BE IN COMPLIANCE WITH WARREN COUNTY ENGINEER REQUIREMENTS.
 - POSTAL COLLECTION AND DELIVERY TO BE IN COMPLIANCE WITH WARREN COUNTY SUBDIVISION REGULATIONS. MAIL AREAS SHOWN ON PLAN ARE PRELIMINARY AND WILL BE COORDINATED AT THE TIME OF DETAILED DESIGN.
 - TWO ALTERNATIVES ARE SHOWN ON THE PLAN. THE FIRST ARE SEPARATE LOCALIZED DROP OFF AREAS THROUGHOUT THE DEVELOPMENT DESIGNATED "M". THE SECOND ALTERNATIVE IS A CLUSTER MAIL BOX AREA WITH PARKING SPACES WITHIN THE OPEN SPACE NEAR THE INTERSECTION OF STREET A AND MOUNTS ROAD.
 - STREET LIGHTING TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WARREN COUNTY SUBDIVISION REGULATIONS. A STREET LIGHTING DISTRICT WILL BE ESTABLISHED FOR THE PROJECT.
 - A HOMEOWNERS ASSOCIATION SHALL BE CREATED TO OWN AND MAINTAIN ALL OPEN SPACE PARCELS WITHIN THE SUBDIVISION AND INCLUDING BUT NOT LIMITED TO STORMWATER MANAGEMENT FACILITIES, SIGNAGE, PATHWAYS, POOL, CABANA AND POSTAL AREAS.
 - FINAL PLANS SHALL BE IN COMPLIANCE WITH THE WARREN COUNTY SOIL AND WATER CONSERVATION DISTRICT EROSION AND SEDIMENT CONTROL REQUIREMENTS.
 - WATER SUPPLY TO BE BY WESTERN WATER SYSTEM. WASTEWATER DISPOSAL TO BE BY WARREN COUNTY SEWER SYSTEM.
 - THE DEVELOPMENT SCHEDULE FOR THE SUBDIVISION HAS NOT YET BEEN ESTABLISHED. IT IS ESTIMATED THAT THE DEVELOPMENT OF THIS PROJECT WILL BE COMPLETED OVER A FIVE TO EIGHT YEAR PERIOD AND PHASES TO BE MARKET DRIVEN.
 - ALL OFF ROAD UTILITIES OR STORM SEWERS TO BE LOCATED IN MINIMUM 20' WIDE EASEMENT UNLESS OTHERWISE APPROVED BY WARREN COUNTY ENGINEER AT TIME OF DESIGN.
 - STREET RW = 50' TYPICAL, 55' CUL-DE-SAC RADIUS.
 - FINAL SIZE AND LOCATION OF STORMWATER MANAGEMENT WILL BE DETERMINED DURING DETAILED ENGINEERING DESIGN.
 - THE FLOOD BOUNDARY SHOWN IS BASED UPON WARREN COUNTY GIS AND FEMA MAPS AND IS ZONE X AS NOTED IN SOUTHWEST CORNER OF THIS SHEET. ZONE X IS COMMONLY REFERRED TO AS THE APPROXIMATE 500-YEAR BOUNDARY.
 - 15' CONSERVATION EASEMENT NOT TO EXTEND INTO FINAL DESIGNED UTILITY EASEMENTS.
 - MONUMENT SIGNS TO BE PLACED AT ENTRIES TO THE SUBDIVISION AT STREET A AND AT STREET E INTERSECTION WITH MOUNTS ROAD.

AREA SUMMARY			PROJECT SUMMARY								
	TOTAL		TOTAL	LOT	LOT	MIN	MIN	MIN	MIN	MIN	MIN
	ACRES	% OF USE	LOT WIDTH (FT)	AREA (SF)	FRONT YDS (FT)	MIN SIDE YDS (FT)	MIN SIDE YDS (FT)	MIN SIDE YDS (FT)	MIN SIDE YDS (FT)	MIN SIDE YDS (FT)	MIN SIDE YDS (FT)
TOTAL AREA	171.01	AC	171	17,101	50	50	50	50	50	50	50
TOTAL LOTS	271		176'	7,000	50	50	50	50	50	50	50
DENSITY	1.59	UN/AC	1	115'	7,000	50	50	50	50	50	50
AREAS											
OPEN SPACE	80.32	47.0%	56	85'	7,000	50	50	50	50	50	50
* LOT AREA	75.22	44.0%	85	65'	7,000	40	50	50	50	50	50
R/W AREA	15.47	9.0%	128	55'	7,000	35	50	50	50	50	50
TOTAL	171.01	100.0%	271								

* INCLUDING OPEN SPACE EASEMENT AREAS ON LOTS

MINIMUM LOT WIDTH IS MEASURED AT BUILDING SETBACK LINE. THE AVERAGE MINIMUM WIDTH IS IN EXCESS OF 65'.

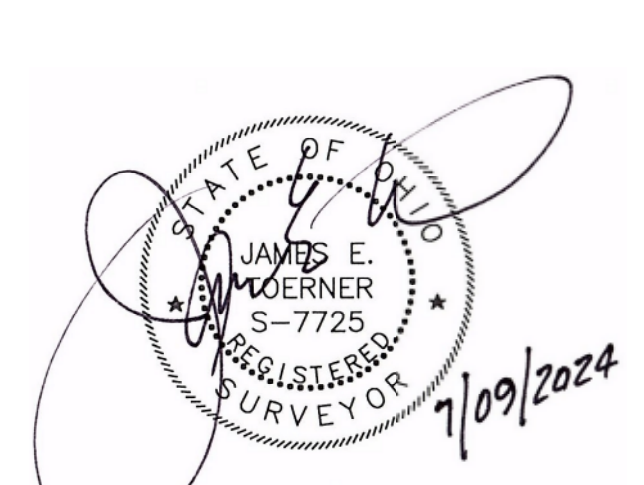
THERE SHALL BE A MINIMUM REAR YARD SETBACK OF THIRTY (30) FEET, EXCEPT A MINIMUM REAR YARD SETBACK OF TWENTY (20) FEET SHALL BE REQUIRED FOR LOTS WITH REAR YARDS ADJACENT TO COMMON OPEN SPACE INTERIOR TO THE DEVELOPMENT AND NOT ADJACENT TO THE PERIMETER. THESE SETBACKS ARE AS NOTED ON THE PRELIMINARY PLAN CLUSTER DEVELOPMENT.



- LEGEND**
- SUBDIVISION BOUNDARY
 - EXISTING RIGHT-OF-WAY
 - PROPOSED RIGHT-OF-WAY
 - LOT LINE / PROPERTY LINE
 - TREE
 - TREELINE
 - EXISTING CONTOUR
 - APPROXIMATE ISLAND LOCATION
 - WET OR POTENTIAL WETLANDS AREA

OWNER
HOME ACRES INVESTMENTS, LLC
1823 HART ROAD
LEBANON, OH 45036
(513) 315-4419

DEVELOPER
WINSOR DEVELOPMENT, LLC
3333 MADISON PK. SUITE C
FT. MITCHELL, KY 41017
(859) 250-8285



STOTLER II
REVISED PRELIMINARY PLAN
JULY 9, 2024

SITUATED IN
MILITARY SURVEY NO. 825
HAMILTON TOWNSHIP
WARREN COUNTY, OHIO

PREPARED BY
Evans
CivilPro
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(513) 398-1728

7/9/2024