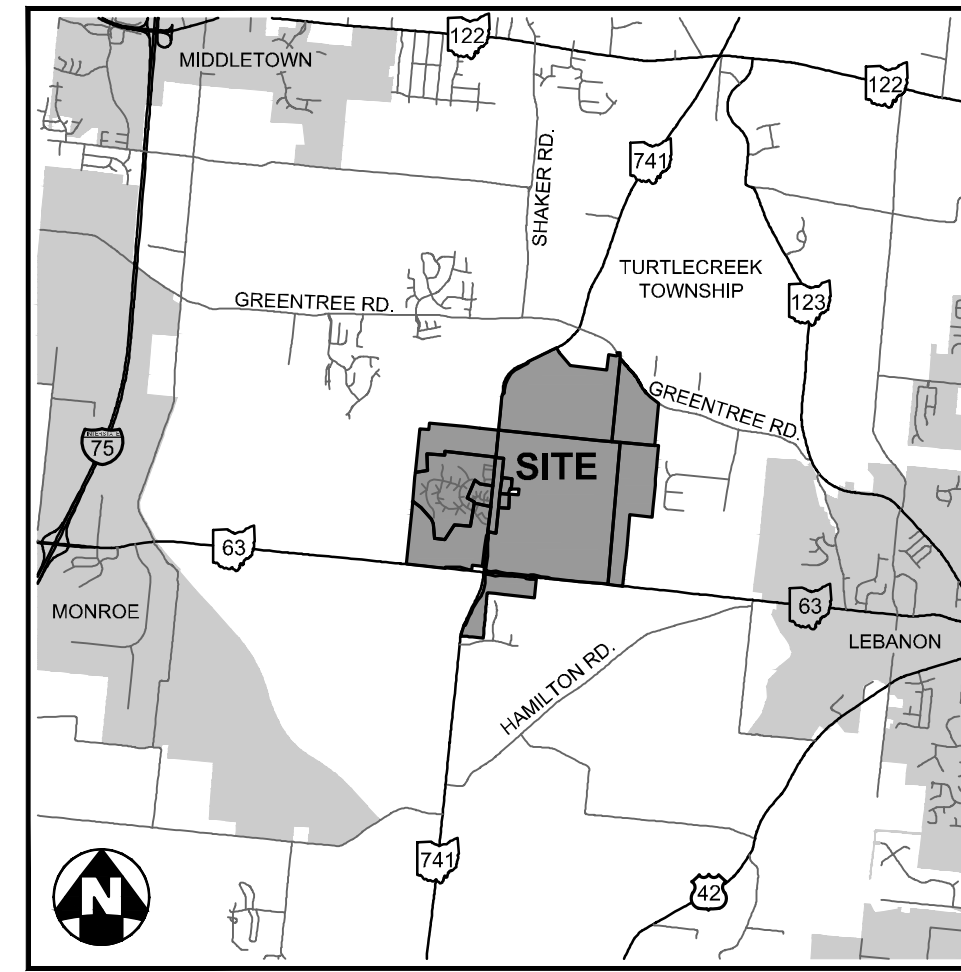


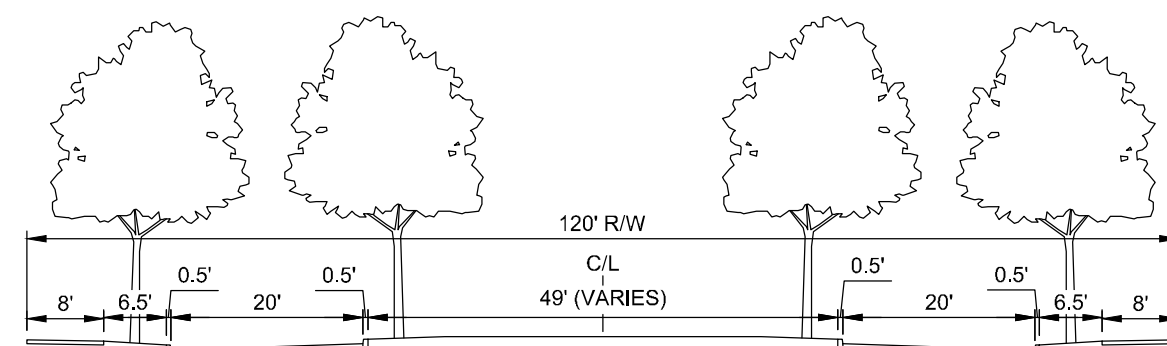
# PRELIMINARY PLAN UNION VILLAGE - PHASE 2

SECTION 24, TOWN 4, RANGE 3, B.T.M.  
TURTLECREEK TOWNSHIP  
WARREN COUNTY, OHIO

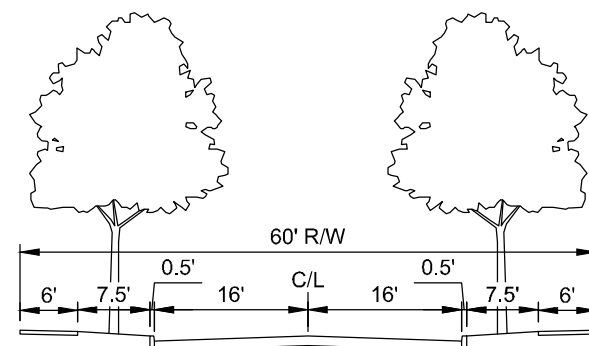


VICINITY MAP  
N.T.S.

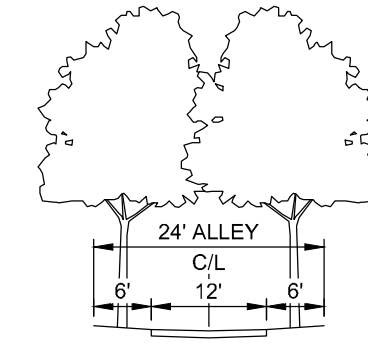
### THOROUGHFARE TYPES



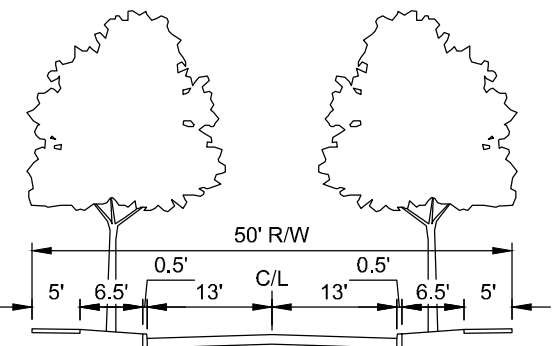
BV-120-20



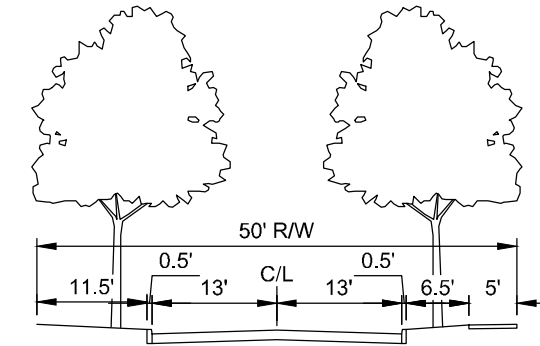
ST-60-32



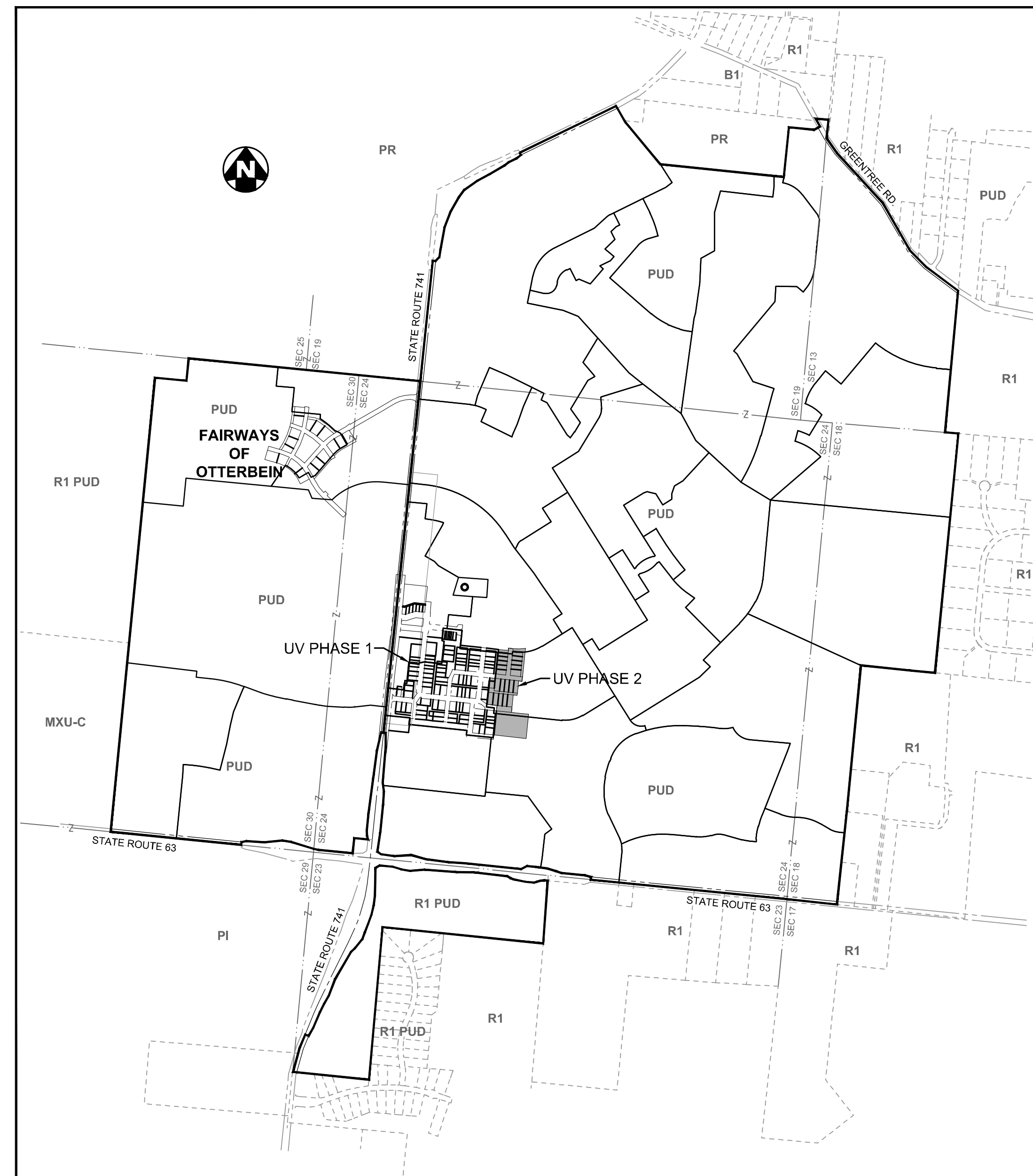
RL-24-12



ST-50-26



RD-50-26



SITE MAP  
SCALE: 1" = 1000'

### SITE DATA

**OWNER:** PARCEL 12243380100: UNION VILLAGE DEVELOPMENT COMPANY, 3855 LOWER MARKET ST., SUITE 100D, LEBANON, OHIO 45036, CONTACT: MATT OBRINGER (937) 545-0287  
PARCEL 12242000162: OTTERBEIN HOMES, 3855 LOWER MARKET ST., SUITE 300, LEBANON, OHIO 45036, CONTACT: MATT OBRINGER (513) 932-2020

**APPLICANT:** UNION VILLAGE DEVELOPMENT COMPANY, 3855 LOWER MARKET ST., SUITE 100D, LEBANON, OHIO 45036, CONTACT: MATT OBRINGER (937) 545-0287

**PHASE 2 AREA:** 6.84 ACRES

**EXISTING ZONING:** PLANNED UNIT DEVELOPMENT (PUD)

**TOPOGRAPHY:** FIELD SURVEY BY THE KLEINGERS GROUP, MAY 2017. BEARINGS ARE BASED ON WARREN COUNTY MONUMENT 169 AND 159. VERTICAL DATUM IS BASED ON WARREN COUNTY MONUMENT 159. ELEVATION = 859.14 (NAVD 88)

**IMPROVEMENTS:** PUBLIC STREET AND ROADWAY FACILITIES ARE TO BE OWNED AND MAINTAINED BY TURTLECREEK TOWNSHIP. CENTRAL WATER SUPPLY ARE TO BE OWNED AND MAINTAINED BY WARREN COUNTY WATER & SEWER DEPARTMENT. EXISTING PRIVATE WATERMANS SHOWN ON THIS PLAN WILL BE IDENTIFIED AS TO BE ABANDONED, TO REMAIN OR RELOCATED WITH THE STAGE 3 SUBMITTAL. WASTEWATER DISPOSAL SYSTEM IS TO BE OWNED AND MAINTAINED BY BUTLER COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES.

**COVENANTS:** UNION VILLAGE DEVELOPMENT COMPANY (UVDC) AND TURTLE CREEK TOWNSHIP HAVE ENTERED INTO A SERVICES AGREEMENT FOR THE ROAD MAINTENANCE. THE ROWS WILL BE DEDICATED TO TURTLECREEK TOWNSHIP AND THROUGH A SERVICE AGREEMENT WITH UVDC MAINTAINED BY TURTLECREEK TOWNSHIP. THE COMMON AREAS, ALLEYS, LANES, PARKING LOTS ETC. WILL BE MAINTAINED BY THE COMMUNITY AUTHORITY OF UNION VILLAGE (CAUV) ESTABLISHED FOR THE UNION VILLAGE PROJECT. THE CAUV WILL COLLECT MILLAGE FROM THE PROPERTIES WITHIN UNION VILLAGE TO COVER THE MAINTENANCE COST. THERE IS ALSO A UNION VILLAGE NEIGHBORHOOD ASSOCIATION ESTABLISHED TO MANAGE ITEMS SUCH AS ARCHITECTURAL REVIEW, AND PRIVATE PROPERTY MANAGEMENT ISSUES ETC.

**SCHEDULE:** CONSTRUCTION OF PHASE 2A TO BE COMPLETED IN 2025

### NOTES

- ANY EXISTING STRUCTURES WILL BE DEMOLISHED UNLESS OTHERWISE NOTED.
- DEMOLITION, DISCONNECTION / RECONNECTION OF EXISTING UTILITIES WILL BE COORDINATED WITH SERVICE PROVIDERS AND/OR OWNERS DURING DESIGN AND CONSTRUCTION.
- LOTS SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY. THEY ARE SUBJECT TO CHANGE.
- BUILDING SETBACKS VARY. REFER TO UNION VILLAGE PUD FOR SETBACK INFORMATION.
- LAND USES WITHIN EACH VILLAGE AREA SHALL CONFORM TO THE PUD. USES AND SQUARE FOOTAGE FOR RETAIL AND OFFICE BUILDINGS, QUANTITY OF PARKING AND LOADING SPACES, NUMBER OF RESIDENTIAL UNITS AND CIVIC USES SHALL ALSO CONFORM TO THE PUD. THE UNION VILLAGE DEVELOPMENT COMPANY SHALL MAINTAIN A RUNNING TALLY TO ASSURE THAT MAXIMUM LIMITS APPROVED FOR UNION VILLAGE ARE NOT EXCEEDED.
- UTILITIES ARE LOCATED WITHIN STREET RIGHT OF WAYS, ALLEYS AND OPEN SPACE.
- OPEN SPACES SHALL HAVE A TEMPORARY EASEMENT PLACED OVER THEM TO PERMIT CONSTRUCTION ACTIVITIES FOR FUTURE SECTIONS.
- CIVIC USES MAY BE PLACED WITHIN OPEN SPACES OR AS SHOWN HEREON.
- STREET TREES SHALL BE PLANTED ALONG ALL STREETS AS GENERALIZED IN STREET CROSS SECTIONS AND PUD.
- ALLEYS SHALL BE PRIVATE AND WILL SERVE AS UTILITY AND ACCESS EASEMENTS. SOME ALLEY PARCELS MAY ALSO INCLUDE COMMON PARKING SPACE. ALLEY SPACE SHALL BE OWNED AND MAINTAINED BY THE COMMUNITY AUTHORITY OF UNION VILLAGE (CAUV).
- STREET GRADES SHALL NOT EXCEED 12% OR BE LESS THAN 0.8% WITHIN THE VILLAGE EDGE AND VILLAGE GENERAL AREAS. STREET GRADES WITHIN THE VILLAGE CENTER SHALL NOT BE LESS THAN 0.5%.
- THE DEVELOPER WILL REVIEW AND APPROVE LOT DEVELOPMENT PLANS PRIOR TO ISSUANCE OF BUILDING PERMITS.
- MITIGATION MEASURES FOR DUST CONTROL SHALL BE IN PLACE DURING CONSTRUCTION TO PREVENT FUGITIVE EMISSIONS REACHING EXISTING ROADS & NEIGHBORHOODS.
- CONSTRUCTION FENCING SHALL BE ERECTED PRIOR TO ANY GRADING OR CONSTRUCTION ACTIVITIES. PREVENTING COMPACTION OF ROOT SYSTEMS OF TREES TO BE PRESERVED. THE FENCING SHALL ENCLOSE THE AREA BENEATH THE DRILLING OF THE TREE CANOPY, OR AS SHOWN ON THE TREE PROTECTION PLAN AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED. NO PARKING, MATERIALS STORAGE, OR CONSTRUCTION ACTIVITIES SHALL BE PERMITTED WITHIN THE FENCED AREA.



**NOTE:** UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE  
www.kleingers.com  
6219 Centro Park Dr. West Chester, OH 45069  
513.779.7851

SEAL:



NO. DATE DESCRIPTION

**UNION VILLAGE  
PHASE 2**  
SECTION 24, TOWN 4, RANGE 3, B.T.M.  
TURTLECREEK TOWNSHIP  
WARREN COUNTY, OHIO

PROJECT NO: 140217.012

DATE: 2024/08/23

SCALE:

SHEET NAME:

**PRELIMINARY  
PLAN**

SHEET NO:

**1 OF 2**



TYPE	LOT NUMBERS	# OF LOTS
SINGLE-FAMILY RESIDENTIAL	126-136, 138-142, 145-149	21
OPEN SPACE / COMMUNITY / PASSAGE / ALLEY	137, 143-144, 150	4

- PROPOSED LEGEND**
- STM STORM SEWER PIPE
  - 100 CATCH BASIN
  - 100 CURB INLET
  - 100 HEADWALL
  - 100 MANHOLE
  - SAN SANITARY SEWER PIPE
  - 1 SANITARY SEWER MANHOLE
  - WWT WATERLINE PIPE
  - Fire Hydrant
  - 1215 EXISTING MAJOR CONTOUR
  - 1216 EXISTING MINOR CONTOUR
  - Proposed Swale
  - Asphalt Pavement
  - Concrete Walk
  - TIF Boundary

**LOT USAGE TABLE**

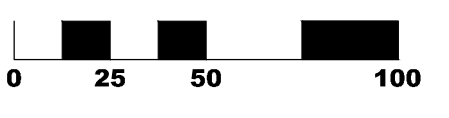
**THE KLEINGERS GROUP**  
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SHEET NAME:  
**PRELIMINARY PLAN**

SHEET NO:  
**2 OF 2**



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